

Plan Review Results

Date: 03/12/2018	Job Application #: 121186732
Lead Hub Plan Examiner: N. Mogoreanu / Asst. Chief: J. Udeh	Application Type: ALTERATION TYPE 1
Owner: MARK ZELLER	Premises Address: 236 WEST 78 STREET
Registered Architect / Licensed, Professional Engineer: BRENDAN KELLY	Premises Borough: MANHATTAN
Filing Representative: CODE, LLC	Zoning District: C4-6A
	Block: 1169 Lot: 46

Thank you for submitting your project to the NYC Development Hub. We have reviewed the above-listed project application. Please read the attached list of comments carefully and review the marked-up plans, as the design professional must address each issue before we can approve the application and issue a work permit.

We will contact you shortly to confirm that you have received this email and can retrieve the files. We'll also schedule the Buildings Presentation — a meeting by phone, video conference or in-person — to discuss and/or resolve the remaining comments and help you bring your application into compliance so that it may be approved.

To prepare for the Buildings Presentation:

- Review the comments, determine which require clarification and prepare a list of items to discuss; and
- Be sure the design professional participates in the meeting.

After the Buildings Presentation:

- Revise the plans and draft written responses to the Department's comments;
- Upload the plans and responses by using eFiling; and
- Notify us that these documents have been uploaded by emailing nycdevelopmenthub@buildings.nyc.gov, and include the job number.

A Hub representative will confirm that the documents have been received and will schedule a meeting to review and resolve the comments.

If you have any questions, email nycdevelopmenthub@buildings.nyc.gov.

Color Category:

- | | |
|---|--|
| ■ Zoning objection/comment | ■ All Codes,MDL,HMC,ANSI,BB/Directive, objection/comment |
| ■ Administrative objection/comment | ■ Energy objection/comment |

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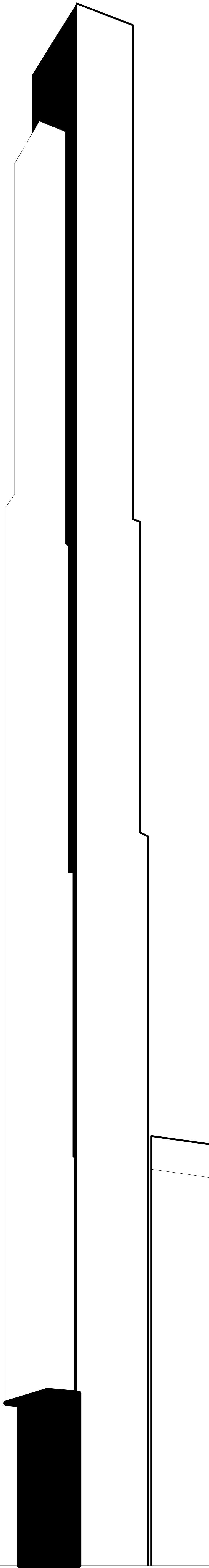
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ARCHITECTURAL - 12 DECEMBER 2017 - D.O.B. AMENDMENT 4



DWG. NO.	SHEET NO.	DRAWING TITLE	REV.	DWG. NO.	SHEET NO.	DRAWING TITLE	REV.		
1	G-001	DRAWING LIST	04	A-185	95TH FLOOR PLAN (EMR) (MPD-13RD FLOOR)	02	A-610	RESIDENTIAL INTERIOR DOOR SCHEDULE AND DOOR TYPES LEGEND	02
2	G-001	1ST FLOOR PLAN	04	A-186	96TH FLOOR PLAN (EMR) (MPD-14TH FLOOR)	02	A-611	DOOR FRAME DETAILS	02
3	2-002	ZONING CALCULATIONS	01	A-187	97TH FLOOR PLAN (MECHANICAL) (MPD-15TH FLOOR)	02	A-612	DOOR HEAD & JAMB DETAILS	01
4	2-003	FLOOR AREA SCHEDULE	01	A-188	98TH FLOOR PLAN (MECHANICAL) (MPD-16TH FLOOR)	02	A-613	DELETED	02
5	2-006	SURVEY	01	A-189	99TH FLOOR PLAN (ROOF) (MPD-17TH FLOOR ROOF)	02	A-614	FINISH SCHEDULE	01
6	2-005	BUILDING SECTIONS	02	A-170	BMI TRACK LEVEL FLOOR PLAN (MPD-COOLING TOWERS/BMU)	01	A-615	ROOM FINISH SCHEDULE	02
7	2-006	ZONING FLOOR AREA PLAN AND DEDUCTIONS (LOT 23, LOT 27 EXISTING)	02	A-201	AXONOMETRIC VIEWS	01	A-616	ROOM FINISH SCHEDULE & FINISH SPECIFICATIONS	01
8	2-007	ZONING FLOOR AREA PLAN AND DEDUCTIONS (LOT 28, LOT 37 EXISTING)	02	A-202	OVERALL BUILDING ELEVATIONS	01	A-617	RESIDENTIAL ROOM FINISH SCHEDULE	01
9	2-008	ZONING FLOOR AREA PLAN AND DEDUCTIONS SUBCELLARS 2, 3, CELLAR	02	A-203	FAÇADE MAINTENANCE SYSTEM BUILDING ELEVATION	01	A-618	RESIDENTIAL & BOH APPLIANCE SCHEDULE	01
10	2-009	ZONING FLOOR AREA PLAN AND DEDUCTIONS 2ND, 3RD FLOOR	02	A-210	PARTIAL ELEVATION - NORTH	03	A-621	RESIDENTIAL PLUMBING FIXTURE SCHEDULE	01
11	2-010	ZONING FLOOR AREA PLAN AND DEDUCTIONS 4TH, 5TH, 6TH FLOOR	02	A-211	PARTIAL ELEVATION - NORTH	03	A-622	ACCESSORY & CABINETS HARDWARE SCHEDULE AND BOH PLUMBING FIXTURE SCHEDULE	01
12	2-011	ZONING FLOOR AREA PLAN AND DEDUCTIONS 7TH, 8TH, 9TH FLOOR	02	A-212	PARTIAL ELEVATION - NORTH	02	A-661	ELEVATOR SHED DIAGRAM	02
13	2-012	ZONING FLOOR AREA PLAN AND DEDUCTIONS 10TH, 10TH INTER 1, 10TH INTER 2, 11TH, 12TH FLOOR	02	A-213	PARTIAL ELEVATIONS - NORTH	02	A-700	TYPICAL CEILING DETAILS	02
14	2-013	ZONING FLOOR AREA PLAN AND DEDUCTIONS 13TH, 14TH, 15TH FLOOR	02	A-214	PARTIAL ELEVATIONS - NORTH	02	A-701	SUB CELLAR 1 REFLECTED CEILING PLAN (BOH SUPPORT) (MPD-SUB CELLAR 3)	02
15	2-014	ZONING FLOOR AREA PLAN AND DEDUCTIONS 16TH, 17TH, 18TH FLOOR	02	A-215	PARTIAL ELEVATION - SOUTH	03	A-702	SUB CELLAR 2 REFLECTED CEILING PLAN (BOH SUPPORT) (MPD-SUB CELLAR 2)	02
16	2-015	ZONING FLOOR AREA PLAN AND DEDUCTIONS 19TH, 20TH, 21ST FLOOR	02	A-216	PARTIAL ELEVATION - SOUTH	02	A-703	SUB CELLAR 1 REFLECTED CEILING PLAN (RETAL) (MPD-SUB CELLAR 1)	02
17	2-016	ZONING FLOOR AREA PLAN AND DEDUCTIONS 22ND, 23RD, 24TH FLOOR	02	A-217	PARTIAL ELEVATION - SOUTH	02	A-704	CELLAR REFLECTED CEILING PLAN (RETAL) (MPD-SUB CELLAR 1)	02
18	2-017	ZONING FLOOR AREA PLAN AND DEDUCTIONS 25TH, 26TH, 27TH FLOOR	02	A-218	PARTIAL ELEVATIONS - SOUTH	02	A-705	GROUND FLOOR REFLECTED CEILING PLAN (LOBBY) (MPD-GROUND FLOOR)	02
19	2-018	ZONING FLOOR AREA PLAN AND DEDUCTIONS 28TH, 29TH, 30TH FLOOR	02	A-219	PARTIAL ELEVATIONS - SOUTH	02	A-706	GROUND FLOOR INTERMEDIATE REFLECTED CEILING PLAN (STAIR TRANSFER) (MPD-GROUND FLOOR)	02
20	2-019	ZONING FLOOR AREA PLAN AND DEDUCTIONS 31ST, 32ND, 33RD FLOOR	02	A-220	PARTIAL ELEVATION - EAST	02	A-708	3RD FLOOR REFLECTED CEILING PLAN (RETAL)	02
21	2-020	ZONING FLOOR AREA PLAN AND DEDUCTIONS 34TH, 35TH, 36TH FLOOR	02	A-221	PARTIAL ELEVATION - EAST	02	A-709	4TH FLOOR REFLECTED CEILING PLAN (RETAL)	02
22	2-021	ZONING FLOOR AREA PLAN AND DEDUCTIONS 37TH, 38TH, 39TH FLOOR	02	A-222	PARTIAL ELEVATION - EAST	02	A-710	5TH & 7TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL AMENITIES)	02
23	2-022	ZONING FLOOR AREA PLAN AND DEDUCTIONS 40TH, 41ST, 42ND FLOOR	02	A-223	PARTIAL ELEVATION - WEST	02	A-713	DELETED	02
24	2-023	ZONING FLOOR AREA PLAN AND DEDUCTIONS 43RD, 44TH, 45TH FLOOR	02	A-224	PARTIAL ELEVATION - WEST	02	A-714	10TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL AMENITIES)	02
25	2-024	ZONING FLOOR AREA PLAN AND DEDUCTIONS 46TH, 47TH, 48TH FLOOR	02	A-225	PARTIAL ELEVATION - WEST	02	A-717	10TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL AMENITIES)	02
26	2-025	ZONING FLOOR AREA PLAN AND DEDUCTIONS 49TH, 50TH, 51ST FLOOR	02	A-226	PARTIAL ELEVATION - WEST	02	A-723	DELETED	02
27	2-026	ZONING FLOOR AREA PLAN AND DEDUCTIONS 52ND, 53RD, 54TH FLOOR	02	A-227	PARTIAL ELEVATION - WEST	02	A-724	13TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
28	2-027	ZONING FLOOR AREA PLAN AND DEDUCTIONS 55TH, 56TH, 57TH FLOOR	02	A-228	PARTIAL ELEVATION - WEST	02	A-725	13TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
29	2-028	ZONING FLOOR AREA PLAN AND DEDUCTIONS 58TH, 59TH, 60TH FLOOR	02	A-229	PARTIAL ELEVATION - WEST	02	A-726	14TH-18TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
30	2-029	ZONING FLOOR AREA PLAN AND DEDUCTIONS 61ST, 62ND, 63RD FLOOR	02	A-230	TOP OF HOUSE INNER PARAPET ELEVATIONS	01	A-727	14TH-18TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
31	2-030	ZONING FLOOR AREA PLAN AND DEDUCTIONS 64TH, 65TH, 66TH FLOOR	02	A-231	TOP OF HOUSE INNER PARAPET ELEVATIONS	01	A-728	14TH-18TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
32	2-031	ZONING FLOOR AREA PLAN AND DEDUCTIONS 67TH, 68TH INTER, 69TH, 70TH FLOOR	02	A-232	TOP OF HOUSE SECTIONS	01	A-729	DELETED	02
33	2-032	ZONING FLOOR AREA PLAN AND DEDUCTIONS 71ST, 72ND, 73RD FLOOR	02	A-233	TOP OF HOUSE SECTIONS	01	A-730	DELETED	02
34	2-033	ZONING FLOOR AREA PLAN AND DEDUCTIONS 74TH, 75TH, 76TH FLOOR	02	A-234	TOP OF HOUSE SECTIONS	01	A-731	19TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
35	2-034	ZONING FLOOR AREA PLAN AND DEDUCTIONS 77TH, 78TH, 79TH FLOOR	02	A-235	TOP OF HOUSE SECTIONS	01	A-732	19TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
36	2-035	ZONING FLOOR AREA PLAN AND DEDUCTIONS 80TH, 81ST, 82ND FLOOR	02	A-236	TOP OF HOUSE SECTIONS	01	A-733	20TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
37	2-036	ZONING FLOOR AREA PLAN AND DEDUCTIONS 83RD, 84TH, 85TH FLOOR	02	A-237	TOP OF HOUSE SECTIONS	01	A-734	20TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
38	2-037	ZONING FLOOR AREA PLAN AND DEDUCTIONS 86TH, 87TH, 88TH FLOOR	02	A-238	TOP OF HOUSE SECTIONS	01	A-735	21ST-25TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
39	2-038	ZONING FLOOR AREA PLAN AND DEDUCTIONS 89TH, 90TH, 91ST, 92ND FLOOR	02	A-239	TOP OF HOUSE SECTIONS	01	A-736	21ST-25TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
40	2-039	ZONING FLOOR AREA PLAN AND DEDUCTIONS 93RD, 94TH, 95TH FLOOR	02	A-240	TOP OF HOUSE SECTIONS	01	A-737	DELETED	02
41	2-040	ZONING FLOOR AREA PLAN AND DEDUCTIONS 96TH, 97TH, 98TH, 99TH FLOOR	02	A-241	TOP OF HOUSE SECTIONS	01	A-738	DELETED	02
42	2-041	STREET WALL CONTINUITY CS-3 AND CS-6 WEST 57TH STREET	02	A-242	STAIRS ST-1 & ST-2 SECTIONS	01	A-739	28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
43	2-042	STREET WALL CONTINUITY CS-3 BROADWAY	02	A-243	STAIRS ST-1 & ST-2 SECTIONS	01	A-740	28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
44	2-043	STREET WALL CONTINUITY CS-1 WEST 58TH STREET	02	A-244	STAIRS ST-1 & ST-2 SECTIONS	01	A-741	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
45	2-044	RETAIL CONTINUITY	02	A-245	STAIRS ST-1 & ST-2 SECTIONS	01	A-742	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
46	2-045	SPECIAL URBAN DESIGN REGULATIONS CS-1	02	A-246	STAIRS ST-1 & ST-2 SECTIONS	01	A-743	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
47	2-046	SPECIAL URBAN DESIGN REGULATIONS CS-3	02	A-247	STAIRS ST-1 & ST-2 SECTIONS	01	A-744	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
48	2-047	STREETSCAPE TREE PLANTING	02	A-248	STAIRS ST-1 & ST-2 SECTIONS	01	A-745	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
49	2-048	REAR YARD & REAR YARD EQUIVALENTS SITE PLAN AND SECTION	02	A-249	STAIRS ST-1 & ST-2 SECTIONS	01	A-746	DELETED	02
50	2-049	RECREATIONAL SPACE	02	A-250	STAIRS ST-1 & ST-2 SECTIONS	01	A-747	40TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
51	2-050	CS-1 HEIGHT AND SETBACK SITE PLAN, SECTIONS AND ELEVATIONS	02	A-251	STAIRS ST-1 & ST-2 SECTIONS	01	A-748	47TH-65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
52	2-051	ZONING ROOF PLAN AND VENT POINTS	02	A-252	STAIRS ST-1 & ST-2 SECTIONS	01	A-749	DELETED	02
53	2-052	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 1	02	A-253	STAIRS ST-1 & ST-2 SECTIONS	01	A-750	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
54	2-053	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 2	02	A-254	STAIRS ST-1 & ST-2 SECTIONS	01	A-751	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
55	2-054	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 3	02	A-255	STAIRS ST-1 & ST-2 SECTIONS	01	A-752	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
56	2-055	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 4	02	A-256	STAIRS ST-1 & ST-2 SECTIONS	01	A-753	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
57	2-056	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 5	02	A-257	STAIRS ST-1 & ST-2 SECTIONS	01	A-754	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
58	2-057	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 6	02	A-258	STAIRS ST-1 & ST-2 SECTIONS	01	A-755	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
59	2-058	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 7	02	A-259	STAIRS ST-1 & ST-2 SECTIONS	01	A-756	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
60	2-059	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 8	02	A-260	STAIRS ST-1 & ST-2 SECTIONS	01	A-757	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
61	2-060	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 9	02	A-261	STAIRS ST-1 & ST-2 SECTIONS	01	A-758	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
62	2-061	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 10	02	A-262	STAIRS ST-1 & ST-2 SECTIONS	01	A-759	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
63	2-062	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 11	02	A-263	STAIRS ST-1 & ST-2 SECTIONS	01	A-760	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
64	2-063	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 12	02	A-264	STAIRS ST-1 & ST-2 SECTIONS	01	A-761	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
65	2-064	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 13	02	A-265	STAIRS ST-1 & ST-2 SECTIONS	01	A-762	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
66	2-065	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 14	02	A-266	STAIRS ST-1 & ST-2 SECTIONS	01	A-763	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
67	2-066	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 15	02	A-267	STAIRS ST-1 & ST-2 SECTIONS	01	A-764	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
68	2-067	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 16	02	A-268	STAIRS ST-1 & ST-2 SECTIONS	01	A-765	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
69	2-068	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 17	02	A-269	STAIRS ST-1 & ST-2 SECTIONS	01	A-766	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
70	2-069	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 18	02	A-270	STAIRS ST-1 & ST-2 SECTIONS	01	A-767	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
71	2-070	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 19	02	A-271	STAIRS ST-1 & ST-2 SECTIONS	01	A-768	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
72	2-071	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 20	02	A-272	STAIRS ST-1 & ST-2 SECTIONS	01	A-769	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
73	2-072	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 21	02	A-273	STAIRS ST-1 & ST-2 SECTIONS	01	A-770	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
74	2-073	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 22	02	A-274	STAIRS ST-1 & ST-2 SECTIONS	01	A-771	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
75	2-074	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 23	02	A-275	STAIRS ST-1 & ST-2 SECTIONS	01	A-772	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
76	2-075	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 24	02	A-276	STAIRS ST-1 & ST-2 SECTIONS	01	A-773	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
77	2-076	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 25	02	A-277	STAIRS ST-1 & ST-2 SECTIONS	01	A-774	65TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 3)	02
78	2-077	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 26	02	A-278	STAIRS ST-1 & ST-2 SECTIONS	01	A-775	DELETED	02
79	2-078	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 27	02	A-279	STAIRS ST-1 & ST-2 SECTIONS	01	A-776	DELETED	02
80	2-079	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 28	02	A-280	STAIRS ST-1 & ST-2 SECTIONS	01	A-777	DELETED	02
81	2-080	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 29	02	A-281	STAIRS ST-1 & ST-2 SECTIONS	01	A-778	DELETED	02
82	2-081	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 30	02	A-282	STAIRS ST-1 & ST-2 SECTIONS	01	A-779	DELETED	02
83	2-082	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 31	02	A-283	STAIRS ST-1 & ST-2 SECTIONS	01	A-780	DELETED	02
84	2-083	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 32	02	A-284	STAIRS ST-1 & ST-2 SECTIONS	01	A-781	DELETED	02
85	2-084	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 33	02	A-285	STAIRS ST-1 & ST-2 SECTIONS	01	A-782	DELETED	02
86	2-085	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 34	02	A-286	STAIRS ST-1 & ST-2 SECTIONS	01	A-783	DELETED	02
87	2-086	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 35	02	A-287	STAIRS ST-1 & ST-2 SECTIONS	01	A-784	DELETED	02
88	2-087	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 36	02	A-288	STAIRS ST-1 & ST-2 SECTIONS	01	A-785	DELETED	02
89	2-088	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 37	02	A-289	STAIRS ST-1 & ST-2 SECTIONS	01	A-786	DELETED	02
90	2-089	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 38	02	A-290	STAIRS ST-1 & ST-2 SECTIONS	01	A-787	DELETED	02
91	2-090	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 39	02	A-291	STAIRS ST-1 & ST-2 SECTIONS	01	A-788	DELETED	02
92	2-091	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 40	02	A-292	STAIRS ST-1 & ST-2 SECTIONS	01	A-789	DELETED	02
93	2-092	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 41	02	A-293	STAIRS ST-1 & ST-2 SECTIONS	01	A-790	DELETED	02
94	2-093	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 42	02	A-294	STAIRS ST-1 & ST-2 SECTIONS	01	A-791	DELETED	02
95	2-094	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 43	02	A-295	STAIRS ST-1 & ST-2 SECTIONS	01	A-792	DELETED	02
96	2-095	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 44	02	A-296	STAIRS ST-1 & ST-2 SECTIONS	01	A-793	DELETED	02
97	2-096	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 45	02	A-297	STAIRS ST-1 & ST-2 SECTIONS	01	A-794	DELETED	02
98	2-097	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 46	02	A-298	STAIRS ST-1 & ST-2 SECTIONS	01	A-795	DELETED	02
99	2-098	SECTION 8-1-27 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 47	02	A-299</					

ZONING CALCULATIONS

Map 8c BLOCK / LOTS : 1029 / 14, 19, 23, 27, 36, 37, 43, 47 and 50

1. ZONING DISTRICTS

C5-1
C5-3 MID
C6-6 MID

2. LOT AREA

C5-1

44,686 SF

C5-3 MID

31,171 SF

C6-6 MID

15,058 SF

Sub-Total MID

46,229 SF

Total

90,915 SF

3. USES PERMITTED

C5-1

UG 1-6, 9-11

C5-3 MID

UG 1-6, 9-11

C6-6 MID

UG 1-12

4. USES PROPOSED

Existing to Remain:

C5-1

C5-3 / C6-6 MID

UG 3 - School

UG 2 - Residential

UG 4 - Not for Profit without

Sleeping Accommodation

UG 6 - Commercial

Proposed New Building :

C5-1 / C5-3 MID

UG 2 - Residential

UG 6 - Retail

UG 10 - Large Retail

5. FLOOR AREA PERMITTED

A) FAR PERMITTED

1. C5-1

Commercial

4 FAR

Residential

10 FAR

w/ Inclusionary Housing Bonus

12 FAR

Community Facility

10 FAR

23-95

Inclusionary Housing Provided

25,533.5 SF

Off-Site New Construction

25,533.5 SF X 3.5 = 89,367 SF

Bonus Rate 3.5 FAR

(44,686 X 10) + 89,367 SF = 536,227 SF

Floor Area Permitted

536,227 SF / 44,686 = 12 FAR

FAR Permitted

2. C5-3 MID and C6-6 MID (zones are identical for Zoning

Bulk purposes)

Commercial

15 FAR

Residential

10 FAR

w/ Residential Recreational Space Bonus

12 FAR

Community Facility

15 FAR

B) FLOOR AREA PERMITTED

1. C5-1

Commercial

44,686 SF X 4 FAR

178,744 SF

Residential

44,686 SF X 12 FAR

536,232 SF *

Community Facility

44,686 SF X 10 FAR

446,860 SF

Maximum FA Permitted

536,232 SF

2. C5-3 MID and C6-6 MID (zones are identical)

Commercial

46,229 SF X 15 FAR

693,435 SF

Residential

46,229 SF X 10 FAR

462,290 SF

Residential with Recreation Space

46,229 SF X 12 FAR

554,748 SF

Community Facility

46,229 SF X 15 FAR

693,435 SF

Maximum FA Permitted

693,435 SF

3. Total Zoning Lot

Maximum Commercial

872,179 SF

Maximum Residential

1,050,980 SF *

Maximum Community Facility

1,140,295 SF

Maximum FA Permitted

1,229,667 SF

* Note : Residential 10 FAR identical between Districts and may be located in any Zone

6. FLOOR AREA PROPOSED (See Floor Area Schedule Z-003)

1. C5-1

Existing Buildings :

Retail

3,527 SF

Residential

82,603 SF

Community Facility

71,010 SF

Total

157,140 SF

New Building :

Retail

73,790 SF

Residential

536,244 SF

Total

610,022 SF

Total C5-1 Zone :

Retail

77,308 SF

Residential

616,844 SF

Community Facility

71,010 SF

Total

765,162 SF

2. C5-3 MID and C6-6 MID

Existing Buildings :

Retail

5,638 SF

Residential

157,145 SF

Community Facility

26,397 SF

Total

189,180 SF

New Building :

Retail

97,463 SF

Residential

159,036 SF

Total

256,499 SF

Total C5-3 MID and C6-6 MID Zones :

Retail

103,101 SF

Residential

316,181 SF

Community Facility

26,397 SF

Total

445,679 SF

3. Total Zoning Lot

Existing Buildings :

Retail

9,165 SF

Residential

239,748 SF

Community Facility

97,407 SF

Total

346,320 SF

New Building :

Retail

171,244 SF

Residential

682,277 SF

Total

853,521 SF

Total Zoning Lots :

Retail

180,409 SF

Residential

935,025 SF

Community Facility

97,407 SF

Total

1,212,841 SF

7. DWELLING UNITS PERMITTED (See Floor Area Schedule)

A) Maximum Floor Area

B) Non-Residential Floor Area

C) Floor Area for Dwelling Units

D) Maximum Dwelling Units

E) Proposed

180,409 SF + 97,407 SF

1,212,841 SF + 277,819 SF

935,025 SF + 790 SF per Unit

1184 D.U. + 170 Existing D.U.

349 D.U.

1,212,841 SF

277,819 SF

935,025 SF

1184 D.U.

349 D.U.

36-62

8. REQUIRED OFF-STREET LOADING

A) Retail Floor Area

0 - 25,000 SF

Next 15,000 SF (25,001 - 40,000 SF)

Next 60,000 SF (40,001 - 100,000 SF)

Each additional 150,000 (100,001 - 250,000 SF)

Berths Required

0

1

1

2 ...

Total

0

1

2

New Retail Floor Area Provided

Above Grade Retail Floor Area = 168,513 SF

Below Grade Retail Sales Only Floor Area = 68,549 SF

(see 3 and 4 / Z-008.00)

Total New Retail Floor Area = 237,062 SF

Berths Required

3

B) Residential

None Required

Berths Required

0

Off-Street Loading Berths Required

3

OFF-STREET LOADING BERTHS PROVIDED

3

Size of required Berths

(see 1 / Z-045)

9. ACCESSORY OFF-STREET PARKING

A) None Required

PARKING PROVIDED

None

COMPLIES

10. BICYCLE PARKING

Required Bicycle Parking (15 SF / Bicycle) :

Residential : 1 Bicycle per 2 Dwelling Units

Retail : 1 Bicycle / 10,000 SF

179 D.U. / 2 = 90 BICYCLES

239,780 SF / 10,000 = 24 BICYCLES

Total Bicycles required

90 + 24 = 114

Total Bicycle Parking Space required

(90 X 9 SF) + (24 X 15 SF) = 1170 SF

BICYCLE PARKING SPACE PROVIDED

1215 SF (See Z-045)

COMPLIES

11. STREETSCAPE

A) Street Wall Continuity - C5-3 - West 57th Street

Street Wall Continuity

See Z-041

B) Street Wall Continuity - C5-3 - Broadway

Street Wall Continuity

See Z-042

C) Street Wall Continuity - C5-1 - West 58th Street

Sign Regulations

See Z-043

D) Retail Continuity - C5-1 and C5-3

Sign Regulations

Street Wall Articulation

Glazing Requirements

Retail Continuity - C5-1

Retail Continuity - C5-3 / C6-6 MID

See Z-043

See Z-044

See Z-044

See Z-044

See Z-044

E) Special Urban Design Requirements C5-1

Curb Cuts

Central Refuse Storage Area

See Z-045

See Z-045

F) Special Urban Design Requirements C5-3

Pedestrian Circulation Space

Major Building Entrances

See Z-046

See Z-046

Waiver of Relocation of Subway Stair at Seventh Avenue to be Requested Pursuant to Section 37-44

12. STREETSCAPE TREE PLANTING

A) Required number of trees : One every 25' of Street Frontage of the Zoning Lot

Length of Street Frontage

1,099.61'

Trees Required (one street tree / 25')

1,099.61' / 25' = 44 Trees

TREES PROVIDED

2 Existing Trees +

42 New Off Site Trees = 44 Trees (see Z-047)

COMPLIES

13. YARD EQUIVALENTS

REAR YARD PROVIDED

Yes (see Z-048)

COMPLIES

14. RESIDENTIAL RECREATIONAL SPACE

Residential floor area in C5-3 / C6-6 zones exceed 10 FAR. Recreational space is required in C5-3 / C6-6.

A) Recreational Space Required

5,000 SF

RESIDENTIAL RECREATIONAL SPACE PROVIDED

7,724 SF (see Z-049)

COMPLIES

15. HEIGHT AND SETBACK

C5-1 Height and Setback Regulations

A) Maximum Height of Front Walls and Required Setbacks

NEW BUILDING FLOOR AREA: ABOVE GRADE

FLOOR AREA ABOVE GRADE	MARKETING FLOOR DESIGNATIONS		ZONE C5-1			ZONE C5-3 MID			TOTAL		
			GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
GROUND FLOOR	GROUND FLOOR	RESIDENTIAL	3,980	108	3,854	4,244	168	4,076	8,204	274	7,930
GROUND FLOOR	GROUND FLOOR	RETAIL	16,856	2,985	13,579	16,886	532	16,334	33,431	3,517	29,914
TOTAL			20,836	3,093	17,433	21,110	700	20,410	41,635	3,791	37,843
2ND FLOOR	2ND FLOOR	RESIDENTIAL	919	106	813	251	197	53	1,170	304	866
2ND FLOOR	2ND FLOOR	RETAIL	16,279	393	15,886	20,591	715	19,876	36,870	1,108	35,762
TOTAL			17,198	499	16,699	20,842	913	19,929	38,040	1,412	36,628
3RD FLOOR	3RD FLOOR	RESIDENTIAL	933	120	813	443	390	53	1,377	510	867
3RD FLOOR	3RD FLOOR	RETAIL	16,297	448	15,849	20,901	537	20,364	37,198	985	36,213
TOTAL			17,230	569	16,662	21,344	927	20,417	38,575	1,495	37,079
4TH FLOOR	4TH FLOOR	RESIDENTIAL	936	123	813	443	390	53	1,377	513	866
4TH FLOOR	4TH FLOOR	RETAIL	16,294	451	15,843	20,399	528	19,871	36,693	979	35,714
TOTAL			17,230	574	16,659	20,842	917	19,925	38,072	1,492	36,581
5TH FLOOR	5TH FLOOR	RESIDENTIAL	936	123	813	451	397	53	1,386	520	867
5TH FLOOR	5TH FLOOR	RETAIL	13,071	448	12,623	20,894	510	20,384	33,965	958	33,007
TOTAL			14,007	571	13,436	21,344	907	20,438	35,351	1,478	33,873
6TH FLOOR MEP	6TH FLOOR	RESIDENTIAL	5,447	5,447	0	6,157	5,651	506	11,604	11,098	506
6TH FLOOR MEP	6TH FLOOR	RETAIL	8,626	8,626	0	14,507	0	0	23,133	23,133	0
TOTAL			14,073	14,073	0	20,664	20,158	506	34,737	34,231	506
7TH FLOOR MEP	7TH FLOOR	RESIDENTIAL	14,073	14,073	0	20,664	19,946	718	34,736	34,019	718
7TH FLOOR	14TH FLOOR	RESIDENTIAL	7,533	354	7,180	5,155	130	5,025	12,688	484	12,205
8TH FLOOR	14TH FLOOR	RETAIL	0	0	0	954	321	634	954	321	634
TOTAL			7,533	354	7,180	6,110	451	5,659	13,643	805	12,838
9TH FLOOR	15TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
10TH FLOOR	16TH FLOOR	RESIDENTIAL	7,463	346	7,117	3,691	62	3,629	11,155	408	10,746
10TH FLOOR INTER 1	17TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
10TH FLOOR INTER 2	18TH FLOOR	RESIDENTIAL	7,457	7,457	0	3,691	3,691	0	11,148	11,148	0
11TH FLOOR BMU	19TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
12TH FLOOR MEP	20TH FLOOR	RESIDENTIAL	9,403	9,403	0	4,238	4,238	0	13,643	13,643	0
13TH FLOOR	32ND FLOOR	RESIDENTIAL	9,387	1,057	8,329	1,041	3,199	13,626	2,098	11,528	11,528
14TH FLOOR	33RD FLOOR	RESIDENTIAL	9,387	701	8,686	4,239	286	3,953	13,626	987	12,639
15TH FLOOR	34TH FLOOR	RESIDENTIAL	9,387	705	8,682	4,239	286	3,953	13,626	991	12,635
16TH FLOOR	35TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	286	3,953	13,626	991	12,635
17TH FLOOR	36TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	279	3,960	13,626	984	12,642
18TH FLOOR	37TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	280	3,960	13,626	985	12,641
19TH FLOOR	38TH FLOOR	RESIDENTIAL	9,387	715	8,672	4,239	288	3,951	13,626	1,003	12,623
20TH FLOOR	39TH FLOOR	RESIDENTIAL	9,387	647	8,740	2,024	115	1,909	11,410	762	10,648
21ST FLOOR	40RD FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	166	1,857	11,410	854	10,556
22ND FLOOR	41TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	855	10,556
23RD FLOOR	42TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
24TH FLOOR	43TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
25TH FLOOR	44TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
26TH FLOOR	45TH FLOOR	RESIDENTIAL	9,387	701	8,686	2,024	167	1,856	11,410	868	10,542
27TH FLOOR MEP	50TH FLOOR	RESIDENTIAL	9,202	9,202	0	1,973	1,973	0	11,175	11,175	0
28TH FLOOR	53RD FLOOR	RESIDENTIAL	7,061	502	6,559	2,024	116	1,908	9,084	617	8,467
29TH FLOOR	54TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
30TH FLOOR	55TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
31ST FLOOR	56TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
32ND FLOOR	57TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
33RD FLOOR	58TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
34TH FLOOR	59TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
35TH FLOOR	60TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
36TH FLOOR	61ST FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
37TH FLOOR	62ND FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
38TH FLOOR	63RD FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
39TH FLOOR	64TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
40TH FLOOR	65TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
41ST FLOOR	66TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
42ND FLOOR	67TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
43RD FLOOR	68TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
44TH FLOOR	69TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
45TH FLOOR	70TH FLOOR	RESIDENTIAL	7,061	465	6,596	2,024	144	1,880	9,084	608	8,476
46TH FLOOR MEP	71ST FLOOR	RESIDENTIAL	6,929	6,929	0	1,960	1,960	0	8,889	8,889	0
47TH FLOOR	72TH FLOOR	RESIDENTIAL	6,764	422	6,342	2,024	103	1,921	8,788	525	8,263
48TH FLOOR	73TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
49TH FLOOR	74TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
50TH FLOOR	75TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
51ST FLOOR	76TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
52ND FLOOR	77TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
53RD FLOOR	78TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
54TH FLOOR	79TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
55TH FLOOR	80TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
56TH FLOOR	81TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
57TH FLOOR	82TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
58TH FLOOR	83TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
59TH FLOOR	84TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
60TH FLOOR	85TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
61ST FLOOR	86TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
62ND FLOOR	87TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
63RD FLOOR	88TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
64TH FLOOR	89TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
65TH FLOOR	90TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
66TH FLOOR	91TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
67TH FLOOR MEP	92TH FLOOR	RESIDENTIAL	6,553	6,553	0	1,823	1,823	0	8,377	8,377	0
67TH FLOOR INTER	93TH FLOOR	RESIDENTIAL	6,595	6,595	0	1,766	1,766	0	8,361	8,361	0
68TH FLOOR	100TH FLOOR	RESIDENTIAL	6,646	278	6,369	1,875	178	1,697	8,522	456	8,066
69TH FLOOR	101TH FLOOR	RESIDENTIAL	6,285	319	5,966	1,873	127	1,746	8,158	445	7,712
70TH FLOOR	102TH FLOOR	RESIDENTIAL	6,284	2,032	4,252	1,874	728	1,145	8,158	2,760	5,397
71ST FLOOR	103TH FLOOR	RESIDENTIAL	6,329	360	5,969	1,507	133	1,374	7,835	493	7,342
72ND FLOOR	104TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
73RD FLOOR	105TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
74TH FLOOR	106TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
75TH FLOOR	107TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
76TH FLOOR	108TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
77TH FLOOR	109TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
78TH FLOOR	110TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
79TH FLOOR	111TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
80TH FLOOR	112TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
81ST FLOOR	113TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
82ND FLOOR	114TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
83RD FLOOR	115TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
84TH FLOOR	116TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
85TH FLOOR	117TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,960	106	3,854
RETAIL		15,622	2,985	12,636
TOTAL		19,581	3,091	16,490

GROUND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.1	3'-11"	8'-8"
RESIDENTIAL	P	1.2	1'-3"	1'-8"
RESIDENTIAL	P	1.3	1'-5"	7'-4"
RESIDENTIAL	P	1.4	1'-9"	8'-2"
RESIDENTIAL	M	1.5	3'-4"	8'-2"
RESIDENTIAL	P	1.6	2'-9"	3'-9"
RESIDENTIAL	P	1.7	1'-4"	2'-9"
RESIDENTIAL	P	1.8	1'-8"	2'-2"
SUBTOTAL				105.7
RETAIL	M	1.19	46'-5"	57'-4"
RETAIL	M	1.10	5'-8"	12'-8"
RETAIL	P	1.11	4'-8"	4'-11"
RETAIL	P	1.12	1'-3"	1'-3"
RETAIL	P	1.13	1'-4"	1'-4"
RETAIL	P	1.14	1'-4"	1'-4"
RETAIL	P	1.15	1'-4"	1'-4"
RETAIL	O	1.16	3'-10"	17'-1"
RETAIL	O	1.17	9'-0"	17'-1"
SUBTOTAL				2,985.3

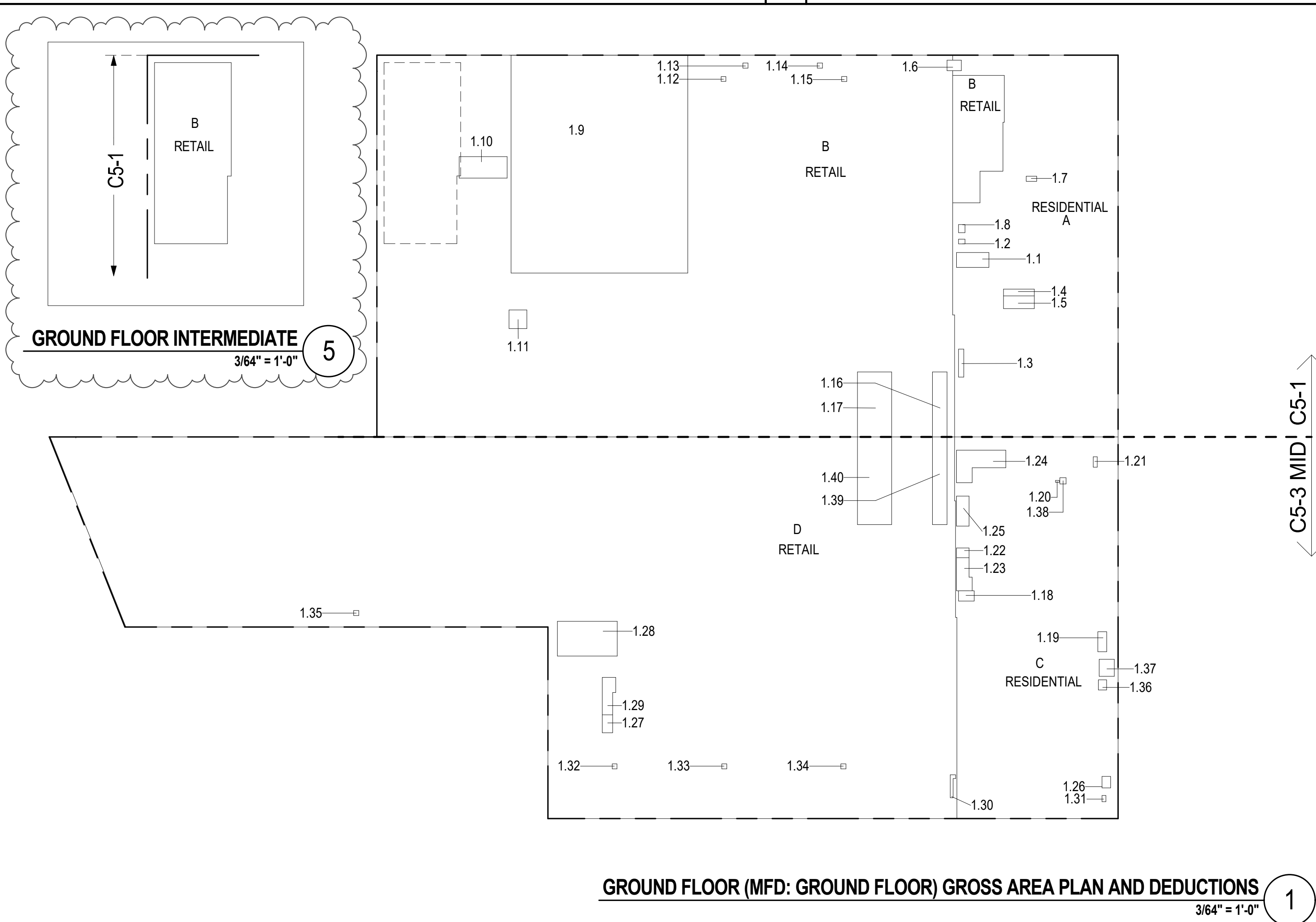
* PERMITTED FLOOR AREA DEDUCTION FOR REQUIRED LOADING BERTHS: 200% OF 12 X 37 X 3 NOS. = 2,664 SF

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,244	168	4,076
RETAIL		16,866	532	16,334
TOTAL		21,110	700	20,410

GROUND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	1.18	2'-8"	4'-2"
RESIDENTIAL	P	1.19	2'-4"	8'-3"
RESIDENTIAL	M	1.20	0'-6"	1'-0"
RESIDENTIAL	P	1.21	1'-0"	2'-9"
RESIDENTIAL	P	1.22	2'-7"	3'-3"
RESIDENTIAL	E	1.23	3'-4"	9'-6"
RESIDENTIAL	M	1.24	4'-5"	17'-1"
RESIDENTIAL	M	1.25	3'-3"	7'-11"
SUBTOTAL				168.3
RETAIL	M	1.26	2'-3"	3'-0"
RETAIL	M	1.27	2'-9"	4'-9"
RETAIL	M	1.28	9'-2"	15'-9"
RETAIL	E	1.29	2'-10"	10'-7"
RETAIL	P	1.30	0'-9"	6'-9"
RETAIL	M	1.31	1'-1"	1'-8"
RETAIL	P	1.32	1'-3"	1'-4"
RETAIL	P	1.33	1'-4"	1'-4"
RETAIL	P	1.34	1'-4"	1'-4"
RETAIL	P	1.35	1'-4"	1'-4"
RETAIL	M	1.36	2'-2"	2'-8"
RETAIL	P	1.37	4'-0"	4'-6"
RETAIL	P	1.38	1'-8"	1'-8"
RETAIL	O	1.39	3'-10"	23'-1"
RETAIL	O	1.40	9'-0"	23'-1"
SUBTOTAL				531.9

GROUND FLOOR INTERMEDIATE AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	B	943	0	943
TOTAL		943	0	943

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,204	274	7,930
RETAIL		33,431	3,517	29,914
TOTAL		41,635	3,791	37,843



ZONING AND DEDUCT LEGEND

DEDUCTIONS

- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44\"/>
- G - GAP FROM ADJACENT BUILDING

DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

GROUND FLOOR (MFD: GROUND FLOOR) GROSS AREA PLAN AND DEDUCTIONS

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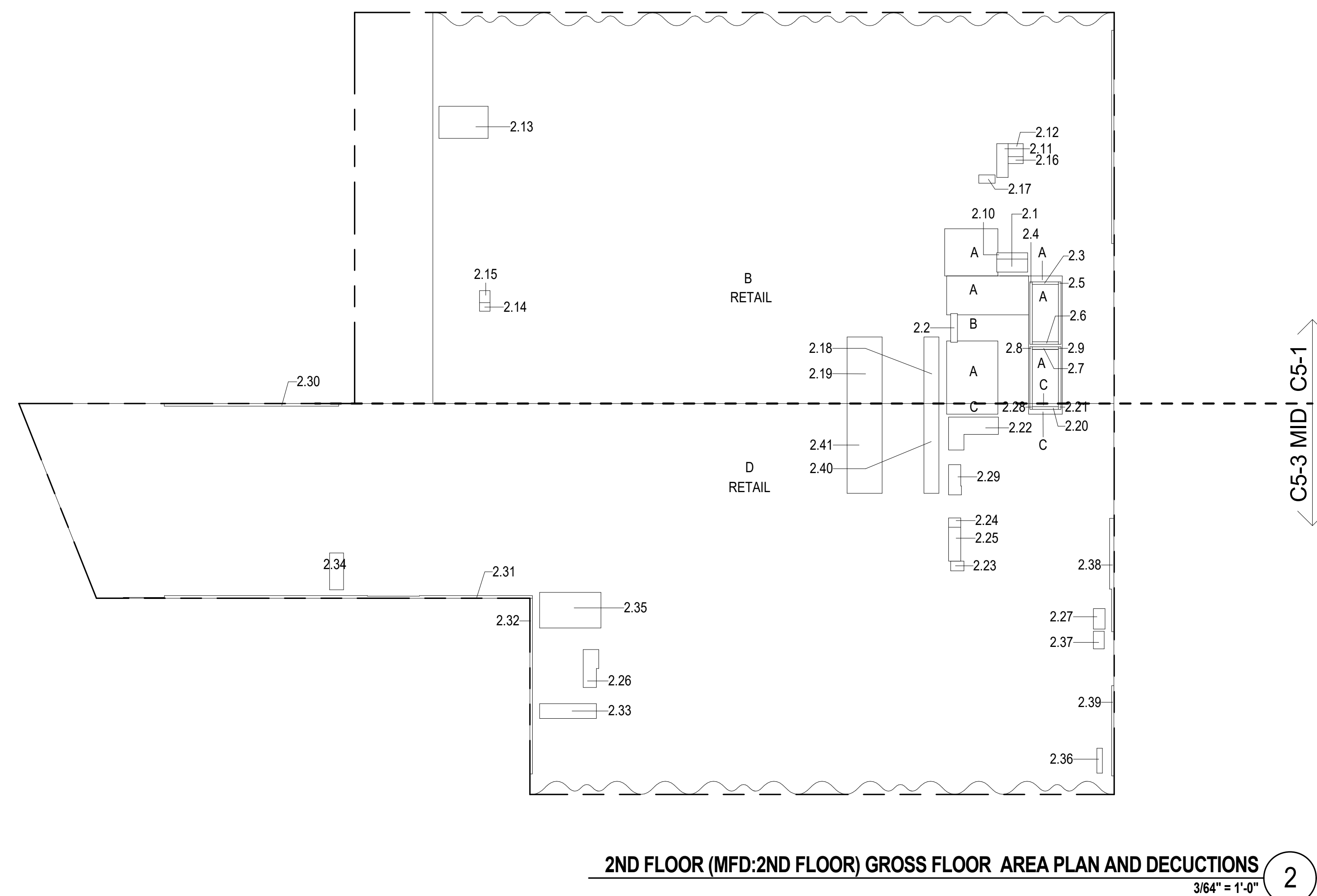
2ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		919	106	813
RETAIL		16,279	393	15,886
TOTAL		17,198	499	16,699

2ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	2.1	3'-4"	7'-11"
RESIDENTIAL	P	2.2	1'-9"	7'-4"
RESIDENTIAL	ST	2.3	0'-8"	6'-8"
RESIDENTIAL	ST	2.4	0'-8"	16'-1"
RESIDENTIAL	ST	2.5	0'-8"	16'-1"
RESIDENTIAL	ST	2.6	0'-8"	6'-8"
RESIDENTIAL	ST	2.7	0'-8"	7'-0"
RESIDENTIAL	ST	2.8	0'-8"	14'-7"
RESIDENTIAL	ST	2.9	0'-8"	14'-2"
RESIDENTIAL	P	2.10	1'-7"	7'-11"
SUBTOTAL				106.3
RETAIL	M	2.11	2'-11"	8'-8"
RETAIL	M	2.12	3'-4"	3'-10"
RETAIL	M	2.13	8'-3"	12'-8"
RETAIL	P	2.14	2'-3"	2'-9"
RETAIL	M	2.15	2'-9"	3'-1"
RETAIL	P	2.16	1'-10"	3'-10"
RETAIL	P	2.17	2'-2"	4'-3"
RETAIL	O	2.18	3'-10"	17'-1"
RETAIL	O	2.19	9'-0"	17'-1"
SUBTOTAL				392.8

2ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		251	197	53
RETAIL		20,591	715	19,876
TOTAL		20,842	913	19,929

2ND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	2.20	0'-8"	6'-8"
RESIDENTIAL	ST	2.21	0'-8"	1'-6"
RESIDENTIAL	M	2.22	4'-3"	16'-11"
RESIDENTIAL	P	2.23	2'-6"	3'-5"
RESIDENTIAL	P	2.24	2'-5"	3'-1"
RESIDENTIAL	E	2.25	3'-1"	8'-9"
RESIDENTIAL	E	2.26	3'-6"	10'-3"
RESIDENTIAL	P	2.27	3'-0"	5'-3"
RESIDENTIAL	ST	2.28	0'-8"	1'-6"
RESIDENTIAL	M	2.29	3'-1"	8'-0"
SUBTOTAL				197.5
RETAIL	G	2.30	0'-8"	44'-9"
RETAIL	G	2.31	0'-7"	105'-3"
RETAIL	G	2.32	0'-8"	45'-2"
RETAIL	M	2.33	3'-10"	14'-7"
RETAIL	M	2.34	3'-7"	9'-5"
RETAIL	M	2.35	9'-2"	15'-9"
RETAIL	P	2.36	1'-5"	6'-5"
RETAIL	P	2.37	2'-9"	4'-6"
RETAIL	G	2.38	0'-11"	29'-4"
RETAIL	G	2.39	0'-7"	23'-2"
RETAIL	O	2.40	3'-10"	23'-1"
RETAIL	O	2.41	9'-0"	23'-1"
SUBTOTAL				715.4

2ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,170	304	866
RETAIL		36,870	1,108	35,762
TOTAL		38,040	1,412	36,628



2ND FLOOR (MFD: 2ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

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3RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		933	120	813
RETAIL		16,297	448	15,849
TOTAL		17,230	569	16,662

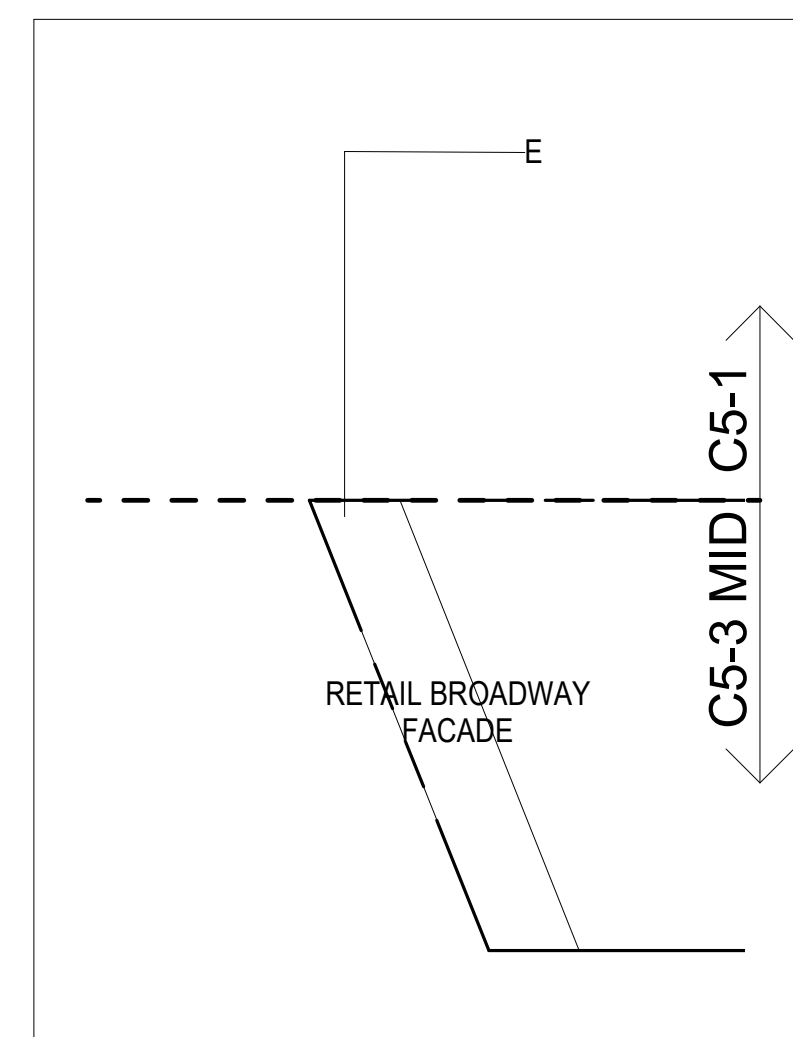
3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.1	2'-10"	7'-11"
RESIDENTIAL	P	3.2	1'-9"	7'-4"
RESIDENTIAL	ST	3.3	0'-8"	6'-8"
RESIDENTIAL	ST	3.4	0'-8"	16'-1"
RESIDENTIAL	ST	3.5	0'-8"	16'-1"
RESIDENTIAL	ST	3.6	0'-8"	6'-8"
RESIDENTIAL	ST	3.7	0'-8"	6'-8"
RESIDENTIAL	ST	3.8	0'-8"	14'-7"
RESIDENTIAL	ST	3.9	0'-8"	14'-7"
RESIDENTIAL	M	3.10	2'-5"	7'-6"
RESIDENTIAL	P	3.11	1'-7"	7'-11"
SUBTOTAL				120.3
RETAIL	P	3.12	2'-3"	2'-9"
RETAIL	M	3.13	2'-9"	3'-1"
RETAIL	M	3.14	7'-6"	7'-10"
RETAIL	M	3.15	8'-3"	12'-8"
RETAIL	M	3.16	4'-4"	11'-11"
RETAIL	O	3.17	3'-10"	17'-1"
RETAIL	O	3.18	9'-0"	17'-1"
SUBTOTAL				448.4

3RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		443	390	53
RETAIL		20,399	537	19,862
TOTAL		20,842	927	19,915

3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.19	3'-1"	7'-9"
RESIDENTIAL	P	3.20	2'-5"	3'-1"
RESIDENTIAL	P	3.21	3'-0"	9'-3"
RESIDENTIAL	P	3.22	2'-6"	3'-5"
RESIDENTIAL	ST	3.23	0'-8"	6'-8"
RESIDENTIAL	ST	3.24	0'-8"	1'-6"
RESIDENTIAL	ST	3.25	0'-8"	1'-6"
RESIDENTIAL	E	3.26	3'-5"	14'-5"
RESIDENTIAL	E	3.27	3'-1"	8'-9"
RESIDENTIAL	M	3.28	3'-8"	9'-5"
RESIDENTIAL	M	3.29	9'-2"	15'-9"
RESIDENTIAL	M	3.30	4'-3"	16'-11"
SUBTOTAL				390.7
RETAIL	G	3.31	0'-8"	45'-2"
RETAIL	G	3.32	0'-7"	105'-3"
RETAIL	G	3.33	0'-8"	44'-9"
RETAIL	G	3.34	0'-7"	23'-2"
RETAIL	G	3.35	0'-11"	29'-4"
RETAIL	M	3.36	3'-10"	14'-7"
RETAIL	P	3.37	1'-5"	6'-5"
RETAIL	P	3.38	2'-9"	4'-6"
RETAIL	O	3.39	3'-10"	23'-1"
RETAIL	O	3.40	9'-0"	23'-1"
SUBTOTAL				536.9

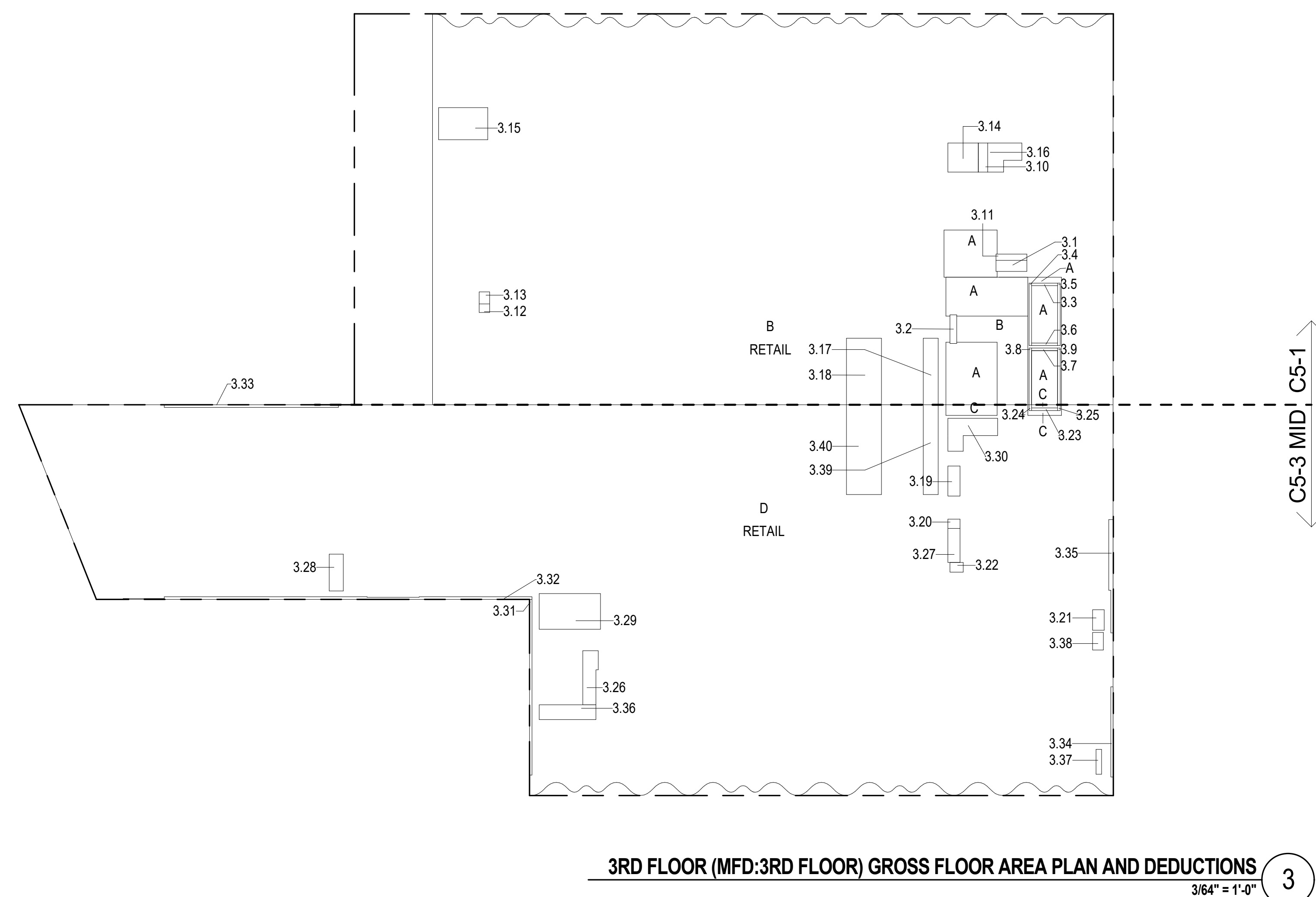
3RD FLOOR BROADWAY FACADE AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	E	502	0	502
TOTAL		502	0	502

3RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,377	510	867
RETAIL		37,198	985	36,213
TOTAL		38,575	1,495	37,079



3RD FLOOR - BROADWAY FACADE

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3RD FLOOR (MFD: 3RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

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KEY PLAN

PROJECT 000 - WEST 57TH ST
7TH AVE
WEST 57TH ST

PROJECT NORTH
TRUE NORTH

DEVELOPER:

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805 THIRD AVENUE, 11TH FLOOR
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MEP ENGINEERS:

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21 Penn Plaza - 380 West 31st Street, 8th Floor
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CURTAINWALL CONSULTANT:

AJLP Consulting
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New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 850

OCCUPANT LOADS SUMMARY SUBCELLAR 2 FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	1,242 SF	15 SF	83
RESIDENTIAL MANAGER OFFICE	B	195 SF	15 SF	13
MEN'S LOCKERS	B	402 SF	50 SF	9
STAFF LOCKERS	B	237 SF	50 SF	5
WOMEN'S LOCKERS	B	195 SF	50 SF	4
BUSINESS	B	9,039 SF	100 SF	91
STAFF ROOM	B	327 SF	100 SF	3
WASHROOM	B	64 SF	100 SF	1
MECHANICAL	F-2	404 SF	50 SF	9
MECHANICAL	F-2	278 SF	50 SF	6
AC MER FOR BOH	F-2	221 SF	300 SF	1
AC MER FOR CORRIDOR	F-2	109 SF	300 SF	1
MECHANICAL	F-2	156 SF	300 SF	1
STAFF	F-2	200 SF	300 SF	1
SUCTION TANK ROOM	F-2	1,391 SF	300 SF	5
UTILITY	F-2	48 SF	300 SF	1
PANTRY	R-2	1,248 SF	200 SF	7
ACCESSORY WIC	S-1	250 SF	300 SF	1
ACCESSORY WIC	S-1	60 SF	300 SF	1
BUILDING STORAGE	S-1	1,087 SF	300 SF	4
JANITOR	S-1	30 SF	300 SF	1
RETAIL BICYCLE STORAGE	S-1	385 SF	300 SF	2
STORAGE	S-1	371 SF	300 SF	4
STORAGE	S-1	92 SF	300 SF	1
STORAGE / BOH	S-1	8,886 SF	300 SF	30
WORKSHOP	S-1	1,086 SF	300 SF	4

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (638)	STAIR LOAD TOTAL (291)
STAIR - G	44"	0.3	146	83
STAIR - H	60"	0.3	200	92
STAIR - J	44"	0.3	146	91
STAIR - K	44"	0.3	146	25

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (710)	DOOR LOAD TOTAL (291)
STAIR - G - DOOR	34"	0.2	170	83
STAIR - H - DOOR	40"	0.2	200	92
STAIR - J - DOOR	34"	0.2	170	91
STAIR - K - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.79"	21	81.43"
STAIR - H	11"	6.75"	24	74.25"
STAIR - J	11"	6.79"	21	74.64"
STAIR - K	11"	6.79"	21	61.07"

SUB CELLAR 3 & SUB CELLAR 2 PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS	REQUIRED LAVATORIES	PROVIDED WATER CLOSETS	PROVIDED LAVATORIES
ASSEMBLY (RETAIL SC2)	A-2	42	42	1	1	1
OCCUPANCY B (RETAIL SC2)	B	47	47	3	2	2
OCCUPANCY S-1 (RETAIL SC2)	S-1	15	15	0.30	0.30	5"
MECHANICAL (RETAIL SC2)	F-2	8	8	0.15	0.15	5"
OCCUPANCY B	B	18	18	2	1	2
OCCUPANCY S-1	S-1	23	23	0.45	0.45	2
OCCUPANCY S-2	S-2	3	3	0.06	0.06	2
OCCUPANCY R-2	R-2	4	4	0.04	0.04	2
STORAGE/MECHANICAL	F-2	13	13	0.26	0.26	

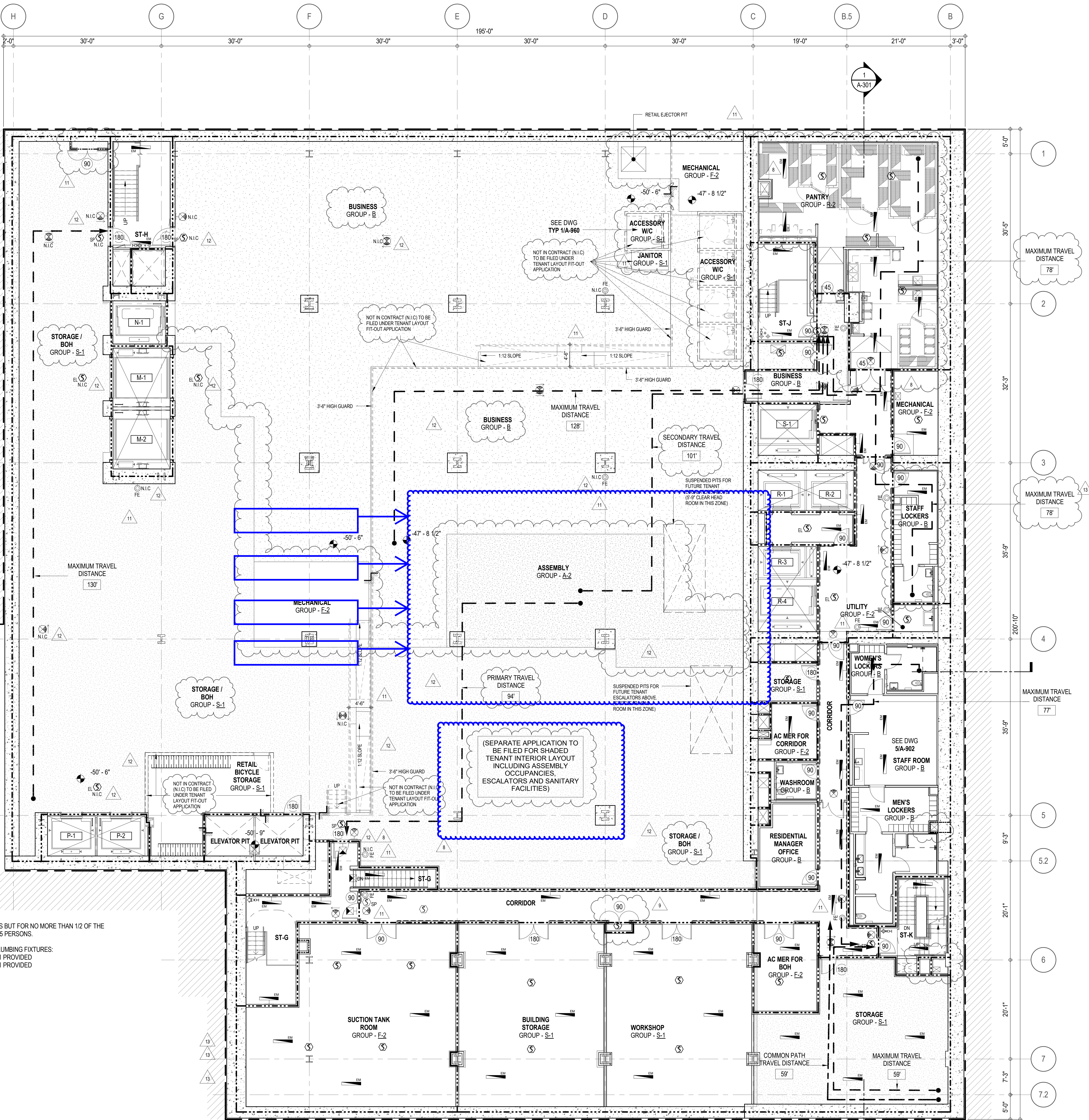
* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
S-1	200'	100'	20'
B	300'	100'	50'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'

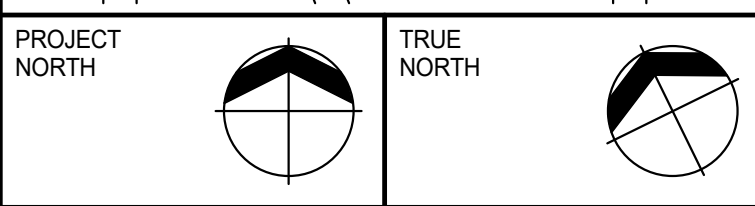
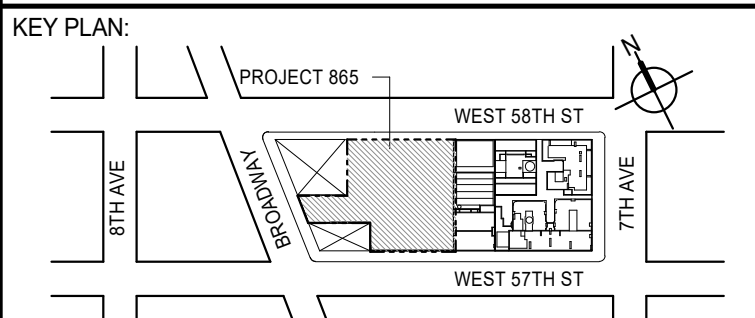


EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
TWO HOUR RATED PARTITION	DEAD END
THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
NON RATED SMOKE SEPARATION	

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



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LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	CD BULLETIN ISSUE - 9	13 FEB 17
15	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **SUB CELLAR 2 FLOOR PLAN**

SEAL & SIGNATURE: **AAI ARCHITECTS, P.C.**
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-032.02**

DOB EMPLOYEE STAMP: **DOB PAGE No: 5 of 33**

DOB 5-SCAN:

OCCUPANT LOADS SUMMARY SUBCELLAR 2 FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	1,242 SF	15 SF	83
RESIDENTIAL MANAGER OFFICE	B	195 SF	15 SF	13
MEN'S LOCKERS	B	402 SF	50 SF	9
STAFF LOCKERS	B	237 SF	50 SF	5
WOMEN'S LOCKERS	B	180 SF	50 SF	4
BUSINESS	G	9,654 SF	100 SF	97
STAFF ROOM	B	327 SF	100 SF	3
WASHROOM	B	64 SF	100 SF	1
MECHANICAL - RETAIL	F-2	404 SF	50 SF	2
MECHANICAL - RETAIL	F-2	277 SF	50 SF	1
AC MER FOR BOH	F-2	221 SF	300 SF	1
AC MER FOR CORRIDOR	F-2	109 SF	300 SF	1
MECHANICAL	F-2	156 SF	300 SF	1
SUCTION TANK ROOM	F-2	200 SF	300 SF	1
UTILITY	F-2	48 SF	300 SF	1
PANTRY	R-2	1,243 SF	300 SF	7
BUILDING STORAGE	S-1	1,087 SF	300 SF	4
STORAGE	S-1	971 SF	300 SF	4
STORAGE	S-1	92 SF	300 SF	1
STORAGE / BOH	S-1	11,092 SF	300 SF	37
WORKSHOP	S-1	1,066 SF	300 SF	4
Grand total				

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (638)	STAIR LOAD TOTAL (297)
STAIR - G	44"	0.3	146	83
STAIR - H	60"	0.3	200	92
STAIR - J	44"	0.3	146	91
STAIR - K	44"	0.3	146	31

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (710)	DOOR LOAD TOTAL (297)
STAIR - G - DOOR	34"	0.2	170	83
STAIR - H - DOOR	40"	0.2	200	92
STAIR - J - DOOR	34"	0.2	170	91
STAIR - K - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.75"	21	81.43"
STAIR - H	11"	6.75"	24	74.25"
STAIR - J	11"	6.75"	21	74.64"
STAIR - K	11"	6.75"	21	61.07"

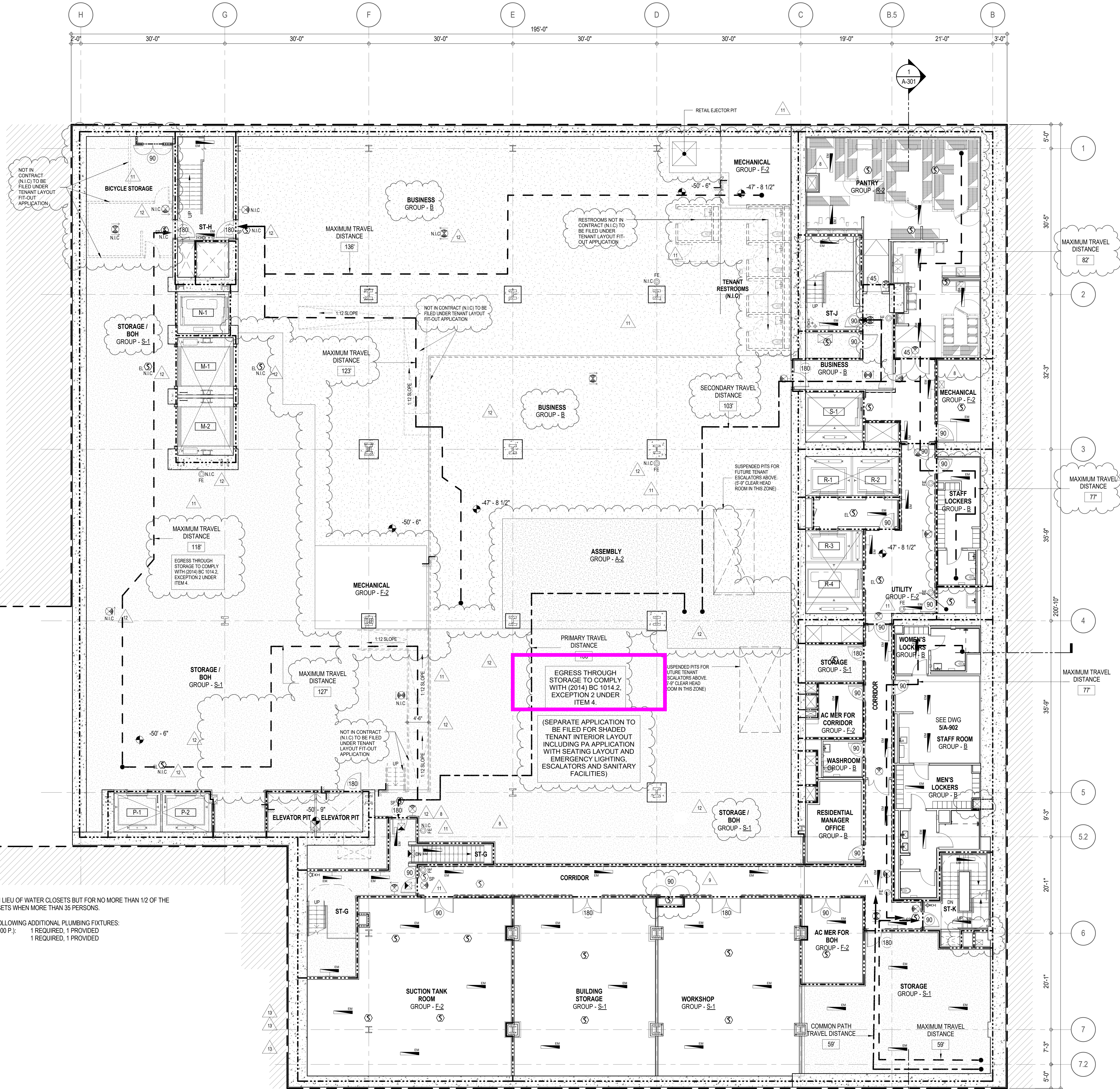
SUB CELLAR 3 & SUB CELLAR 2 PLUMBING FIXTURES - PER PC TABLE 403.1										
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS	REQUIRED LAVATORIES	PROVIDED WATER CLOSETS	PROVIDED LAVATORIES				
ASSEMBLY (RETAIL SC2)	A-2	42	42	1	1	1				
OCCUPANCY B (RETAIL SC2)	B	49	49	3	2	2				
OCCUPANCY S-1 (RETAIL SC2)	S-1	19	19	0.37	0.37	0.37				
MECHANICAL (RETAIL SC2)	F-2	2	2	0.03	0.03	0.03				
OCCUPANCY B	B	18	18	2	1	2	1	2	1	1
OCCUPANCY S-1	S-1	23	23	0.45	0.45	0.45				
OCCUPANCY S-2	S-2	3	3	0.06	0.06	0.06				
OCCUPANCY R-2	R-2	4	4	0.04	0.04	0.04				
STORAGE/MECHANICAL	F-2	13	13	0.26	0.26	0.26				

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

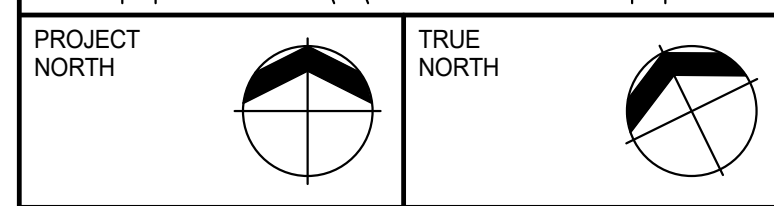
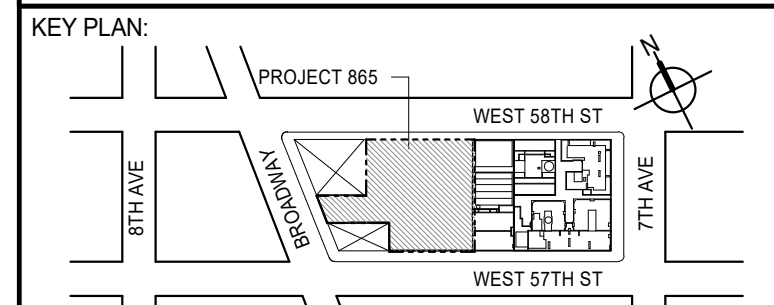
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
S-1	200'	100'	20'
B	300'	100'	50'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
☑	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☑	WALL MOUNTED ILLUMINATED NO EXIT SIGN
☑	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☑	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
☑	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☑	ILLUMINATED NO EXIT SIGN
☑	ILLUMINATED EXIT SIGN	☑	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

☑	FEC FIRE EXTINGUISHER CABINET	☑	SMOKE DETECTOR
☑	SPRINKLER HEAD (REFER TO FP DRAWINGS)	☑	SMOKE / CARBON MONOXIDE DETECTOR
☑	STANDPIPE	☑	CEILING MOUNTED EMERGENCY LIGHT
☑	SPRINKLER RISER	☑	WALL MOUNTED EMERGENCY LIGHT
☑	SIAMESE CONNECTION	☑	DOOR RATING (MINUTES)



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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD BULLETIN ISSUE - 6	31 MAR 16
13	CD BULLETIN ISSUE - 9	13 FEB 17
14	D.O.B. AMENDMENT 4	12 DEC 17

0' 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
SUB CELLAR 2 FLOOR PLAN

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216-00	
DRAWN: Author	REV:	13
CHK: Checker	SCALE: 1/8" = 1'-0"	
DWG No:	A-032.02	
DOB EMPLOYEE STAMP:	DOB PAGE No:	6 OF 53
	DOB 5-SCAN:	

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OCCUPANT LOADS SUMMARY SUBCELLAR 1 FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	90 SF		** 266
STORAGE	S-1	5,210 SF	300 SF	** 18
KITCHEN	A-2	4,687 SF	200 SF	** 24
STORAGE	S-1	2,987 SF	300 SF	** 10
ASSEMBLY	A-2	2,095 SF	15 SF	** 140
ASSEMBLY	A-2	1,684 SF	15 SF	** 113
STORAGE	S-1	263 SF	300 SF	1
Grand Total				572

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (600)	STAIR LOAD TOTAL (572)
STAIR - G	60"	0.3	200	** 191
STAIR - H	60"	0.3	200	** 191
STAIR - J	60"	0.3	200	** 190

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (600)	DOOR LOAD TOTAL (572)
STAIR - G - DOOR	40"	0.2	200	** 191
STAIR - H - DOOR	40"	0.2	200	** 191
STAIR - J - DOOR	40"	0.2	200	** 190

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.93"	29	55.45"
STAIR - H	11"	6.93"	31	55.48"
STAIR - J	11"	6.93"	29	55.45"

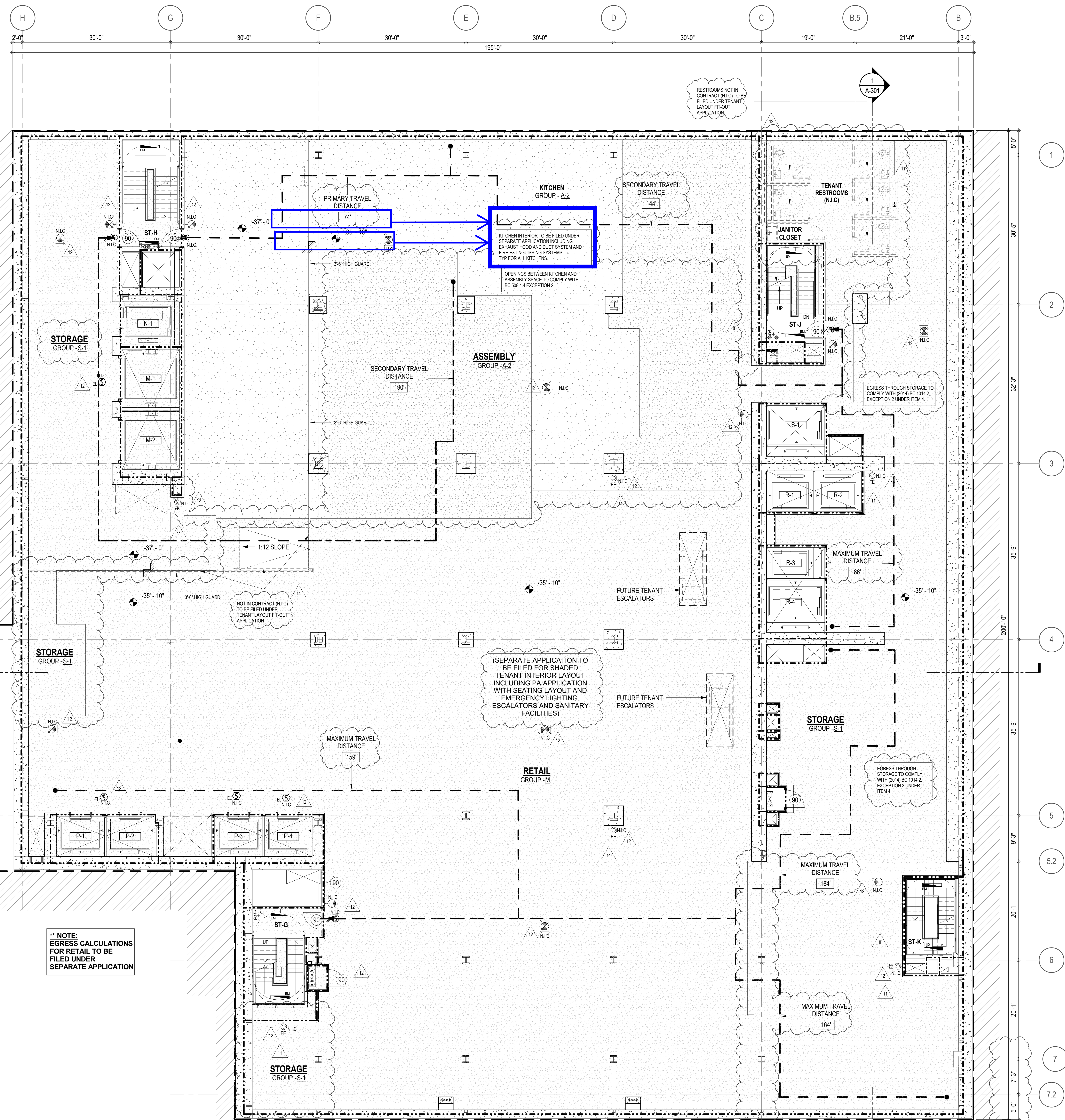
SUB CELLAR 1 PLUMBING FIXTURES - PER PC TABLE 403.1									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS (565)	REQUIRED WATER CLOSETS	REQUIRED LAVATORIES	PROVIDED WATER CLOSETS	PROVIDED LAVATORIES			
ASSEMBLY	A-2	127	127	2	2	1.27	M	F	M F
RETAIL	M	133	133	0.53	0.35				
OCCUPANCY S-1	S-1	15	15	0.29	0.29		5**		5**
KITCHEN	A-2	12	12	1	1				

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			
S-1	200'	100'	20'



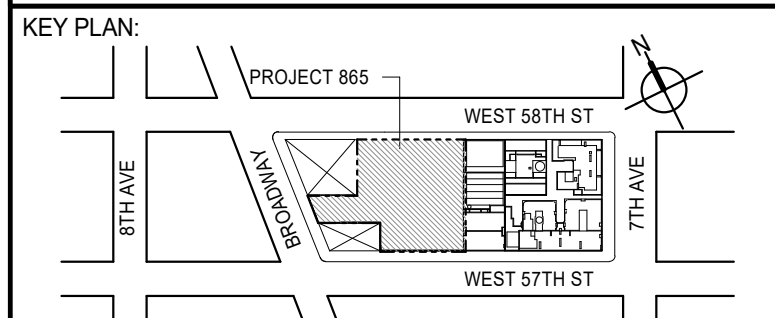
** NOTE: EGRESS CALCULATIONS FOR RETAIL TO BE FILED UNDER SEPARATE APPLICATION

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	WALL MOUNTED ILLUMINATED NO EXIT SIGN	⬆	FEC FIRE EXTINGUISHER CABINET	⬆	SMOKE DETECTOR
⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬆	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⬆	SMOKE / CARBON MONOXIDE DETECTOR
⬆	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	ILLUMINATED NO EXIT SIGN	⬆	STANDPIPE	⬆	CEILING MOUNTED EMERGENCY LIGHT
⬆	ILLUMINATED EXIT SIGN	⬆	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬆	SPRINKLER RISER	⬆	WALL MOUNTED EMERGENCY LIGHT
		⬆		⬆	SIAMESE CONNECTION	⬆	DOOR RATING (MINUTES)



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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
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9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE:

SUB CELLAR 1 FLOOR PLAN

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 12

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-033.02

DOB EMPLOYEE STAMP: DOB PAGE No: 6 OF 53 DOB 5-SCAN:

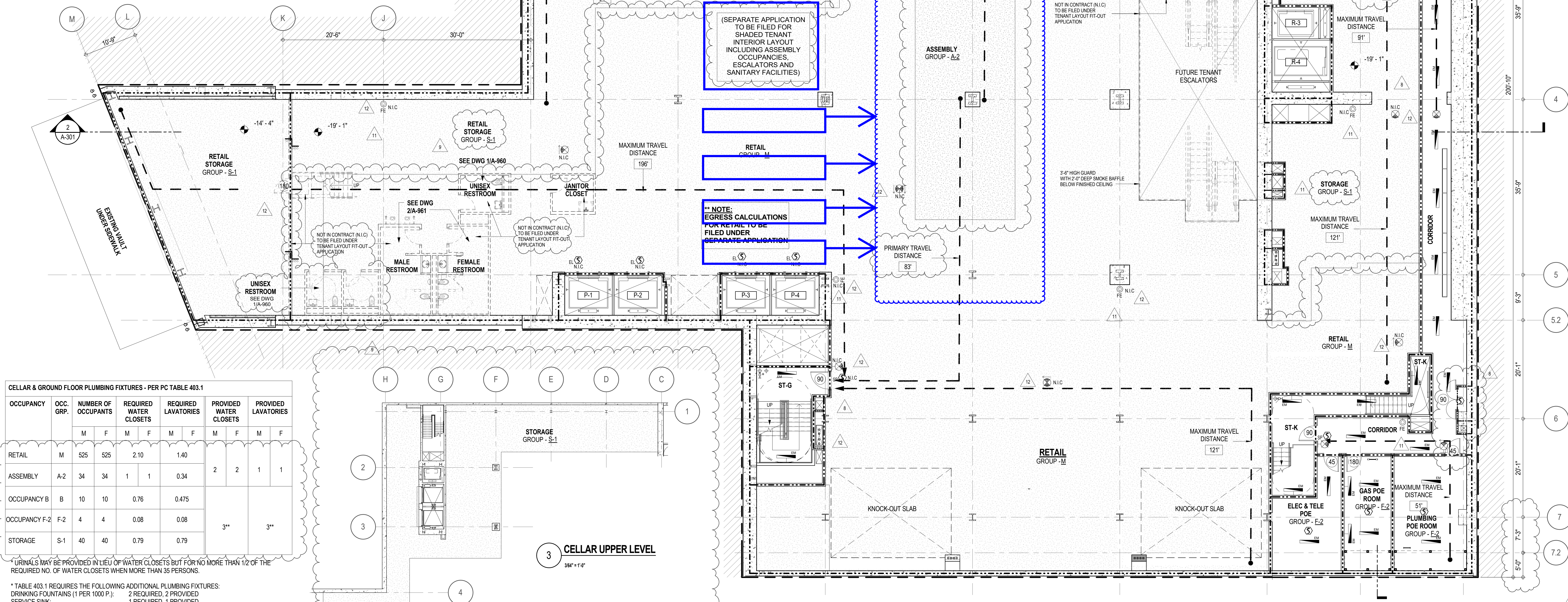
OCCUPANT LOADS SUMMARY CELLAR FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	1,006 SF	15 SF	** 68
AC ROOM	F-2	180 SF	300 SF	** 1
ELEC & TELE POE	F-2	248 SF	300 SF	** 1
GAS POE ROOM	F-2	222 SF	300 SF	** 1
PLUMBING POE ROOM	F-2	344 SF	300 SF	** 2
TELECOM POE & MAIN EQUIPMENT ROOM	F-2	256 SF	300 SF	** 1
WATER POE & FIRE PUMP ROOM	F-2	536 SF	300 SF	** 2
RETAIL	M	18,326 SF	60 SF	** 306
RETAIL STORAGE	S-1	8,960 SF	300 SF	** 30
STORAGE	S-1	256 SF	300 SF	** 1
STORAGE	S-1	1,569 SF	300 SF	** 6
Grand total				** 419

OCCUPANT LOADS SUMMARY UPPER CELLAR FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
STORAGE	S-1	7,327 SF	300 SF	** 25
Grand total				** 25

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (444)
STAIR - G	60"	0.3	200	** 145
STAIR - H	60"	0.3	200	** 145
STAIR - J	60"	0.3	200	** 146
STAIR - K	44"	0.3	146	** 8

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (444)
STAIR - G - DOOR	40"	0.2	200	** 145
STAIR - H - DOOR	40"	0.2	200	** 145
STAIR - J - DOOR	40"	0.2	200	** 146
STAIR - K - DOOR	34"	0.2	170	** 8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.67"	31	116.81"
STAIR - H	11"	6.93"	35	97.19"
STAIR - J	11"	6.81"	37	129.94"
STAIR - K	11"	6.93"	33	111.00"



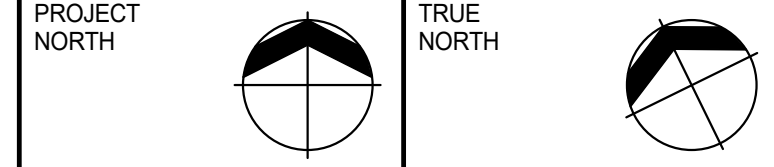
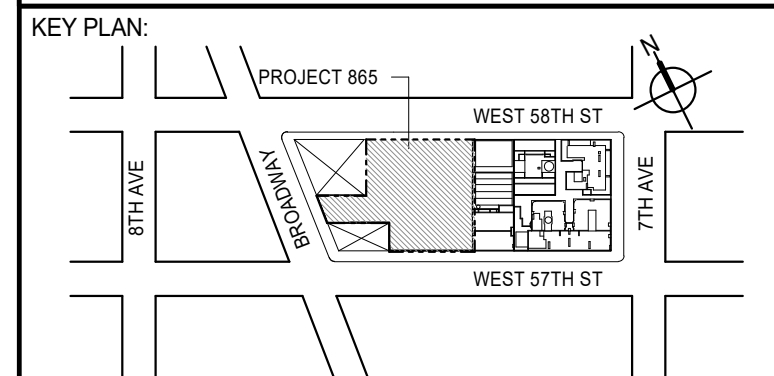
CELLAR & GROUND FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1									
OCCUPANCY	GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS	REQUIRED LAVATORIES	PROVIDED WATER CLOSETS	PROVIDED LAVATORIES			
RETAIL	M	525	525	2.10	1.40				
ASSEMBLY	A-2	34	34	1	0.34	2	2	1	1
OCCUPANCY B	B	10	10	0.76	0.475				
OCCUPANCY F-2	F-2	4	4	0.08	0.08				
STORAGE	S-1	40	40	0.79	0.79				

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
 DRINKING FOUNTAINS (1 PER 1000 P.): 2 REQUIRED, 2 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED
 ** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-2	250'	100'	20'
F-2	250'	100'	50'
A-2 (ACCESSORY TO R-1 (BC TABLE 1024.7))	150' (PRIMARY) / 250' (SECONDARY)	75'	20'

EGRESS AND FIRE RATING LEGEND	
---	ONE HOUR RATED PARTITION
---	TWO HOUR RATED PARTITION
---	THREE HOUR RATED PARTITION
---	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION
---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND	
⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN
⬤	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
⬤	ILLUMINATED NO EXIT SIGN
⬤	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
⬤	FIRE EXTINGUISHER CABINET
⬤	SPRINKLER HEAD (REFER TO FP DRAWINGS)
⬤	STANDPIPE
⬤	SPRINKLER RISER
⬤	SIAMENSE CONNECTION
⬤	SMOKE DETECTOR
⬤	SMOKE CARBON MONOXIDE DETECTOR
⬤	CEILING MOUNTED EMERGENCY LIGHT
⬤	WALL MOUNTED EMERGENCY LIGHT
⬤	DOOR RATING (MINUTES)



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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
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 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
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8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:
AAI ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
 NEW YORK, NY**

DRAWING TITLE:
CELLAR FLOOR PLAN

SEAL & SIGNATURE: 	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 12
CHK: Checker	SCALE: As indicated
DWG No:	
DOB PAGE No:	A-034.02
DOB EMPLOYEE STAMP:	DOB S-SIGN:

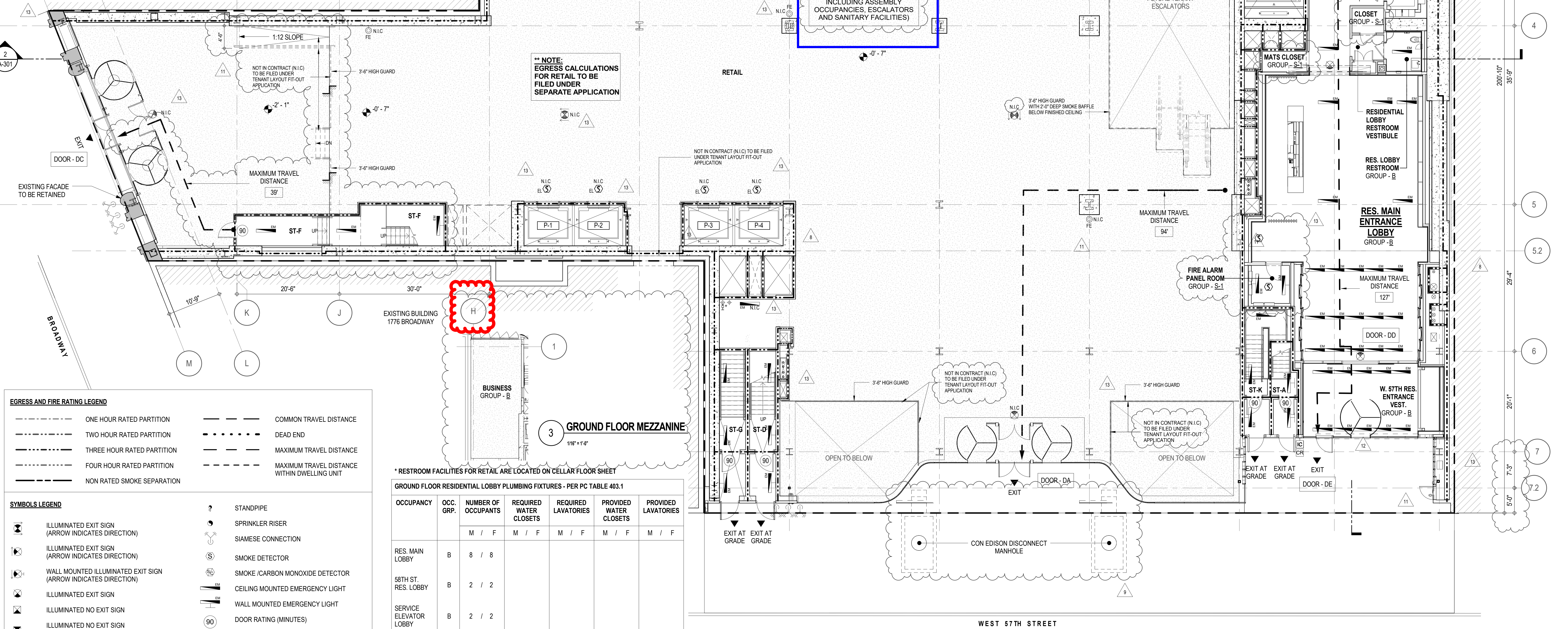
GROUND FLOOR - OCCUPANT LOAD SUMMARY				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
58TH ST. RESIDENTIAL LOBBY	B	232 SF	100 SF	3
OFFICE	B	108 SF	100 SF	2
RES. ELEVATOR LOBBY	B	563 SF	100 SF	1
RES. LOBBY RESTROOM	B	64 SF	100 SF	1
RES. MAIN ENTRANCE LOBBY	B	1,636 SF	100 SF	17
RES. SERVICE LOBBY	B	222 SF	100 SF	3
RETAIL ESA/FIRE ALARM	B	818 SF	100 SF	9
SECURITY OFFICE	B	117 SF	100 SF	2
W. 57TH RES. ENTRANCE VEST.	B	410 SF	100 SF	5
RETAIL	M	22,275 SF	30 SF	** 743
CLOSET	S-1	39 SF	300 SF	1
FIRE ALARM PANEL ROOM	S-1	73 SF	300 SF	1
LOADING DOCK	S-1	3,361 SF	300 SF	12
MATS CLOSET	S-1	39 SF	300 SF	1
MATS CLOSET W/ SHELVE	S-1	45 SF	300 SF	1
SECURITY CLOSET	S-1	53 SF	300 SF	1
Grand total				** 808

GROUND FLOOR MEZZANINE - OCCUPANT LOAD SUMMARY				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
BUSINESS	B	943 SF	100 SF	10
Grand total				10

EXIT DOOR SUMMARY - BC TABLE 1005.1			
DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1880)
STAIR - A - DOOR	34"	0.2	170
STAIR - B - DOOR	34"	0.2	170
STAIR - C - DOOR	40"	0.2	200
STAIR - D - DOOR	40"	0.2	200
STAIR - E - DOOR	40"	0.2	200
STAIR - F - DOOR	34"	0.2	170
STAIR - G - DOOR	40"	0.2	200
STAIR - H - DOOR	40"	0.2	200
STAIR - J - DOOR	40"	0.2	200
STAIR - K - DOOR	34"	0.2	170

EXIT DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1880)	DOOR LOAD TOTAL (772)
EXIT DOOR - DA	72"	0.2	360	** 310
EXIT DOOR - DB	72"	0.2	360	** 305
EXIT DOOR - DC	72"	0.2	360	** 101 + 65 FROM ST-F
EXIT DOOR - DD	72"	0.2	360	22
EXIT DOOR - DE	36"	0.2	180	22
EXIT DOOR - DG	36"	0.2	180	8
EXIT DOOR - DH	36"	0.2	180	6

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1016.1)	COMMON PATH OF EGRESS TRAVEL (BC 1016.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-1	200'	100'	20'
B	300'	100'	50'



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		STANDPIPE
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER RISER
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SIAMESE CONNECTION
	ILLUMINATED EXIT SIGN		SMOKE DETECTOR
	ILLUMINATED NO EXIT SIGN		SMOKE / CARBON MONOXIDE DETECTOR
	ILLUMINATED NO EXIT SIGN		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED NO EXIT SIGN		WALL MOUNTED EMERGENCY LIGHT
	ILLUMINATED NO EXIT SIGN		DOOR RATING (MINUTES)
	ILLUMINATED NO EXIT SIGN		FIRE EXTINGUISHER CABINET
	ILLUMINATED NO EXIT SIGN		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	ILLUMINATED NO EXIT SIGN		

* RESTROOM FACILITIES FOR RETAIL ARE LOCATED ON CELLAR FLOOR SHEET									
GROUND FLOOR RESIDENTIAL LOBBY PLUMBING FIXTURES - PER PC TABLE 403.1									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS	
		M	F	M	F	M	F	M	F
RES. MAIN LOBBY	B	8	/	8					
58TH ST. RES. LOBBY	B	2	/	2					
SERVICE ELEVATOR LOBBY	B	2	/	2					
ASSEMBLY (TOTALS)	B	24		1**		1**		1**	

** SHARED UNISEX BATHROOM

KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
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15	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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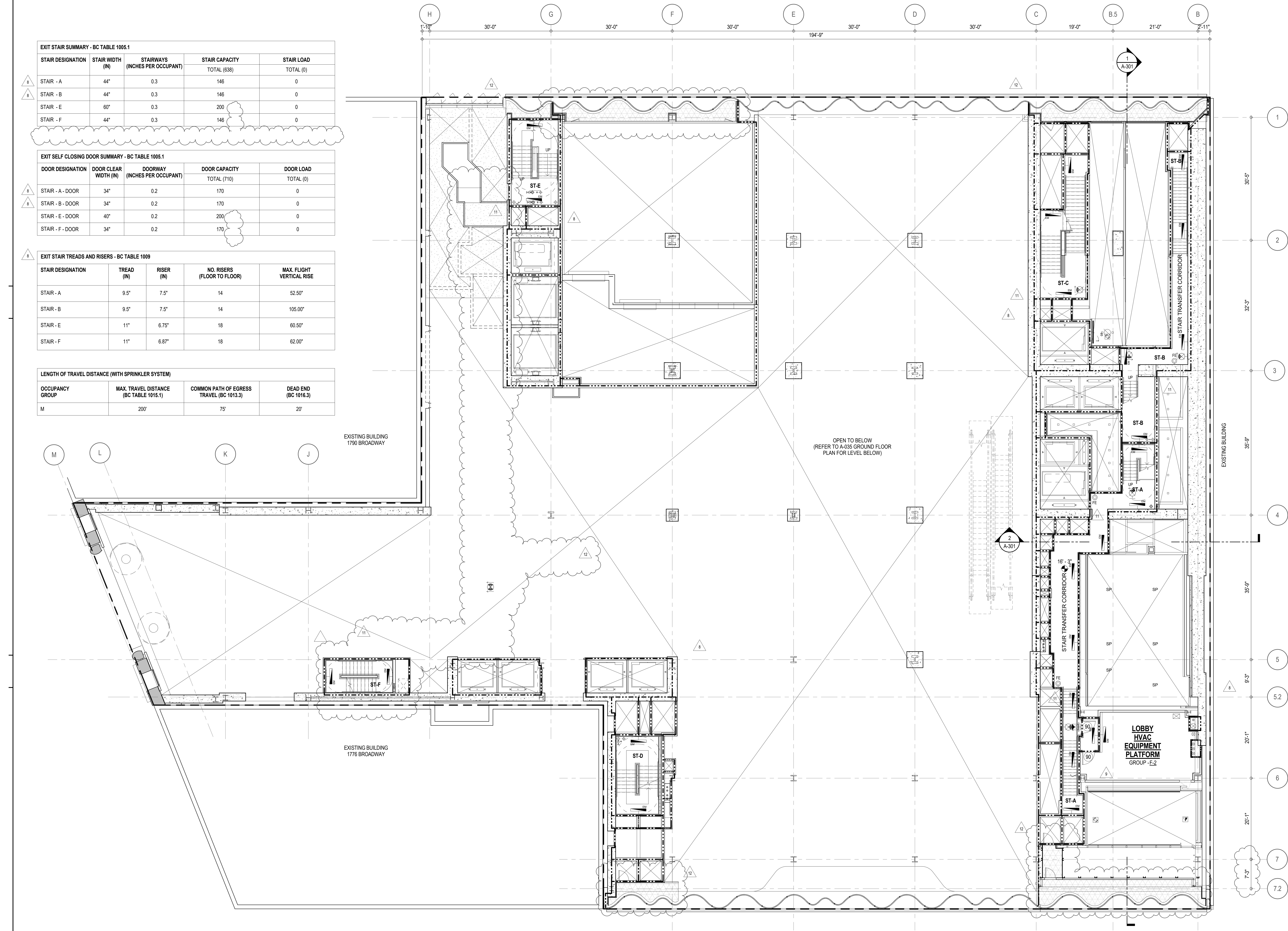
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR PLAN**

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHK: Checker
DWG No:	SCALE: As indicated
A-035.04	
DOB EMPLOYEE STAMP:	DOB PAGE No: 8 of 33
	DOB 5-SCAN:



EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (638)	TOTAL (0)
STAIR - A	44"	0.3	146	0
STAIR - B	44"	0.3	146	0
STAIR - E	60"	0.3	200	0
STAIR - F	44"	0.3	146	0

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (710)	TOTAL (0)
STAIR - A - DOOR	34"	0.2	170	0
STAIR - B - DOOR	34"	0.2	170	0
STAIR - E - DOOR	40"	0.2	200	0
STAIR - F - DOOR	34"	0.2	170	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	14	52.50"
STAIR - B	9.5"	7.5"	14	105.00"
STAIR - E	11"	6.75"	18	60.50"
STAIR - F	11"	6.87"	18	62.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'

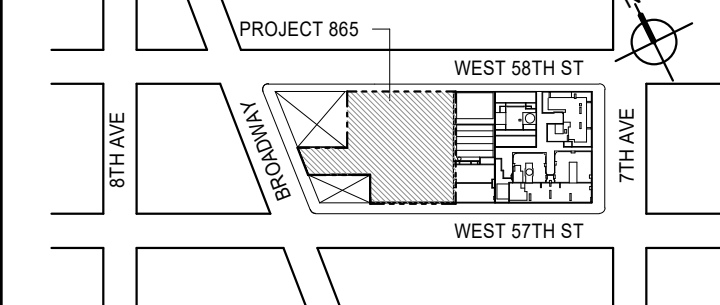
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ARROW INDICATES DIRECTION)		FEC FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FP DRAWINGS)		SMOKE / CARBON MONOXIDE DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
					SIAMESE CONNECTION		DOOR RATING (MINUTES)

KEY PLAN



PROJECT NORTH



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7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 6	26 AUG 16
	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



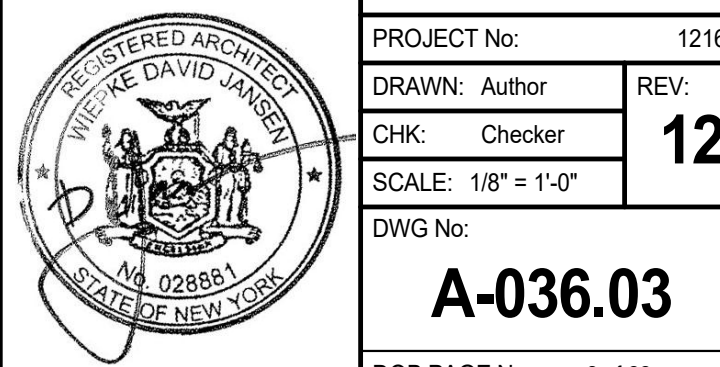
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

GROUND FLOOR INTERMEDIATE STAIR TRANSFER FLOOR PLAN

SEAL & SIGNATURE



DOB EMPLOYEE STAMP:

DOB 5-SIGN:

30' x 40' A-E SHEET 1025

30' x 40' A-E SHEET 1025

OCCUPANT LOADS SUMMARY 3RD FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	26,379 SF	60 SF	** 440
ASSEMBLY	A-2	1,274 SF	15 SF	** 85
STORAGE	S-1	2,124 SF	300 SF	** 8
STORAGE	S-1	189 SF	300 SF	** 1
STORAGE	S-1	1,311 SF	300 SF	** 5
Grand total				** 539

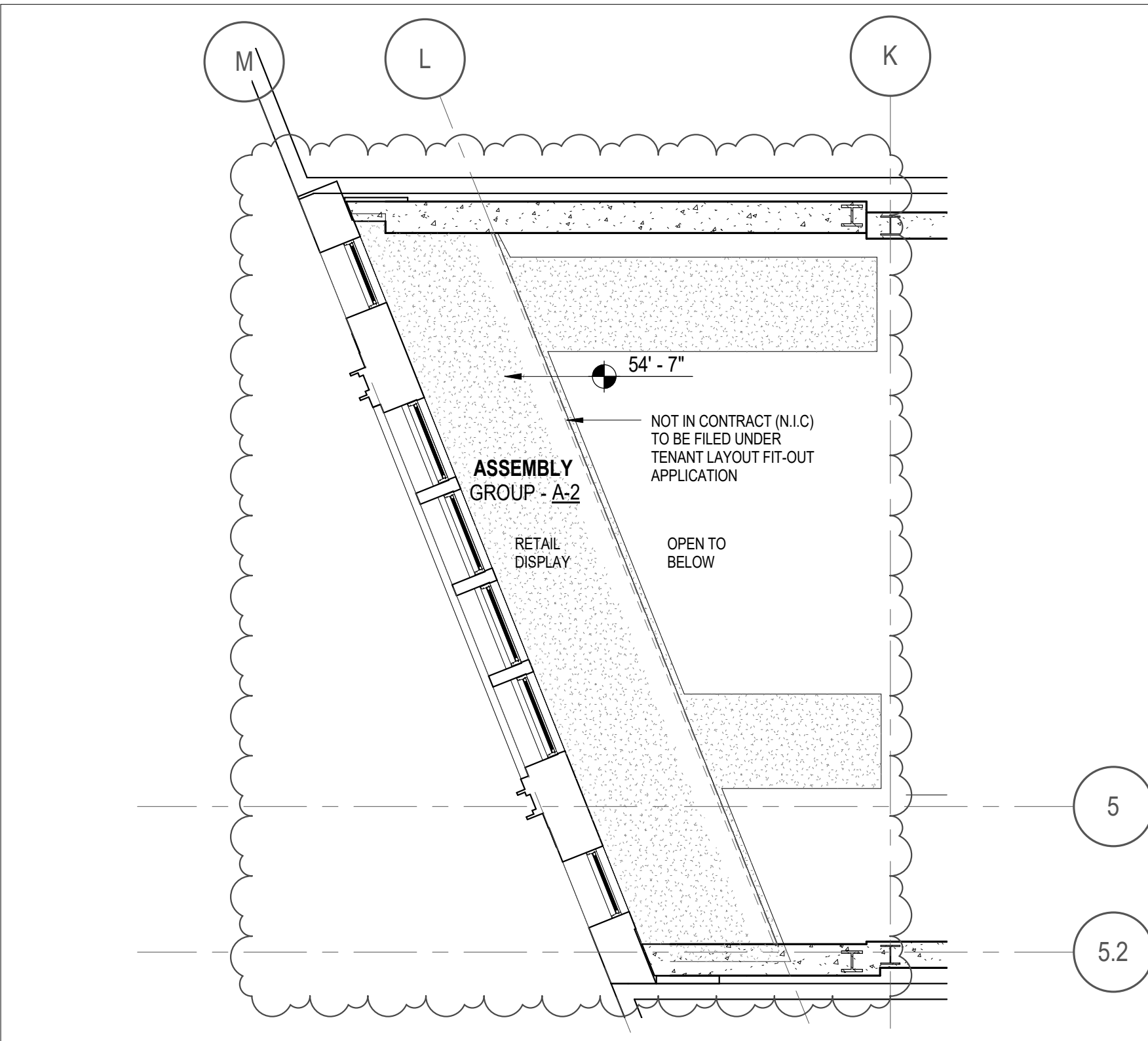
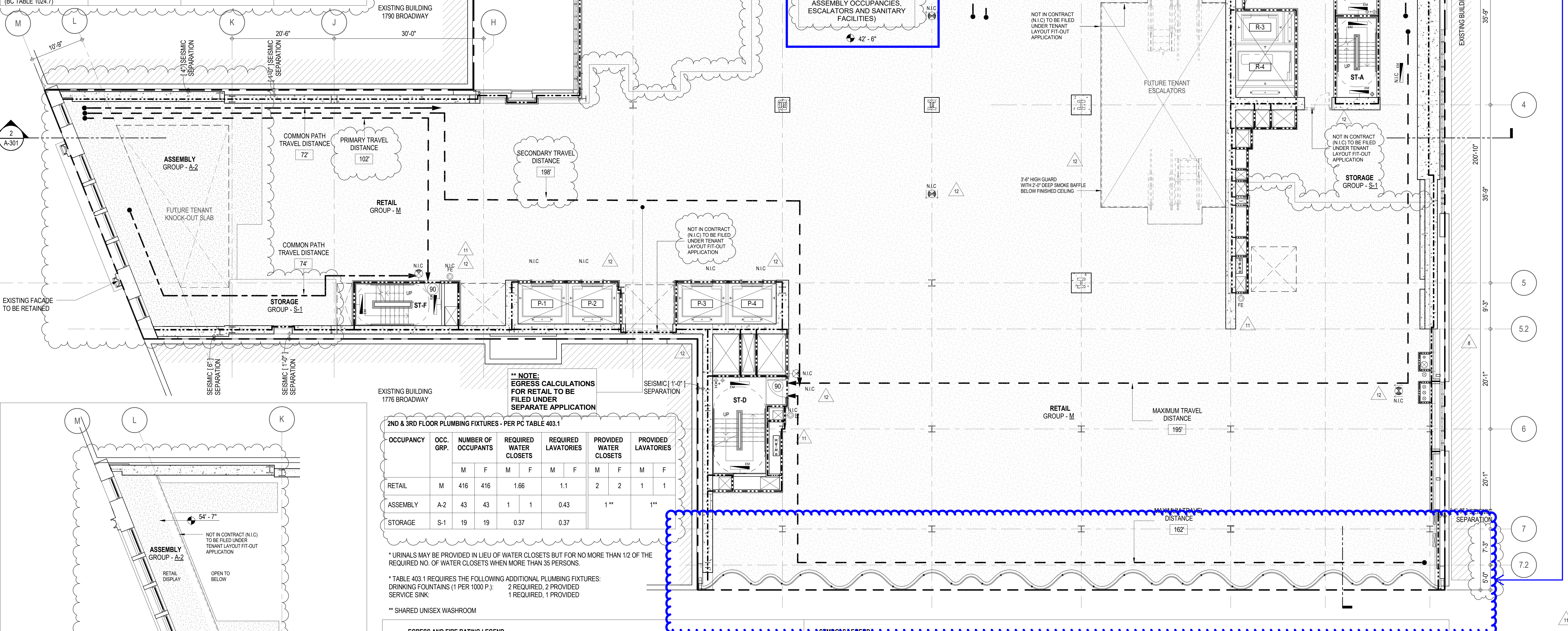
OCCUPANT LOADS SUMMARY INTERMEDIATE 1780 FACADE ACCESS PLATFORM				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	690 SF	15 SF	** 46
Grand total				** 46

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (585)
STAIR - C	60"	0.3	200	** 147
STAIR - D	60"	0.3	200	** 146
STAIR - E	60"	0.3	200	** 146
STAIR - F	44"	0.3	146	** 146

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (585)
STAIR - C - DOOR	40"	0.2	200	** 147
STAIR - D - DOOR	40"	0.2	200	** 146
STAIR - E - DOOR	40"	0.2	200	** 146
STAIR - F - DOOR	34"	0.2	170	** 146

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	56.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			



2ND & 3RD FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS	
RETAIL	M	416	416	1.66	1.1	2	2	1	1
ASSEMBLY	A-2	43	43	1	0.43	1**		1**	
STORAGE	S-1	19	19	0.37	0.37				

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 2 REQUIRED, 2 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX WASHROOM

EGRESS AND FIRE RATING LEGEND									
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE	☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN	☒	FIRE EXTINGUISHER CABINET
---	TWO HOUR RATED PARTITION	---	DEAD END	☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	☒	SPRINKLER HEAD (REFER TO FP DRAWINGS)
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE	☒	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	ILLUMINATED NO EXIT SIGN	☒	STANDPIPE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT	☒	ILLUMINATED EXIT SIGN	☒	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	☒	SPRINKLER RISER
---	NON RATED SMOKE SEPARATION								SIAMESE CONNECTION

DEPT OF BLDG 32153229

30' x 40' A-E SHEET 1025

PROJECT NO. 1216-00

DATE: 15 OCT 14

PROJECT No. 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No. A-038.02

DOB EMPLOYEE STAMP

DOB PAGE No. 11 of 33

DOB 5-SCAN

KEY PLAN

PROJECT NO. 1216-00

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INTERIOR DESIGNER: Residential

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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential

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CURTAINWALL CONSULTANT: A.J.P. Consulting

40 Worth Street, Suite 826

New York, NY 10013

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LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.

39 West 37th Street, 12A

New York, NY 10018

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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 6	26 AUG 16
	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET NEW YORK, NY

DRAWING TITLE: 3RD FLOOR PLAN

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No. 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No. A-038.02

DOB EMPLOYEE STAMP

DOB PAGE No. 11 of 33

DOB 5-SCAN

OCCUPANT LOADS SUMMARY 4TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	26,741 SF	60 SF	446
STORAGE	S-1	1,476 SF	300 SF	5
STORAGE	S-1	1,406 SF	300 SF	5
Grand Total				456

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (456)
STAIR - C	60"	0.3	200	136
STAIR - D	60"	0.3	200	136
STAIR - E	60"	0.3	200	136
STAIR - F	44"	0.3	146	48

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

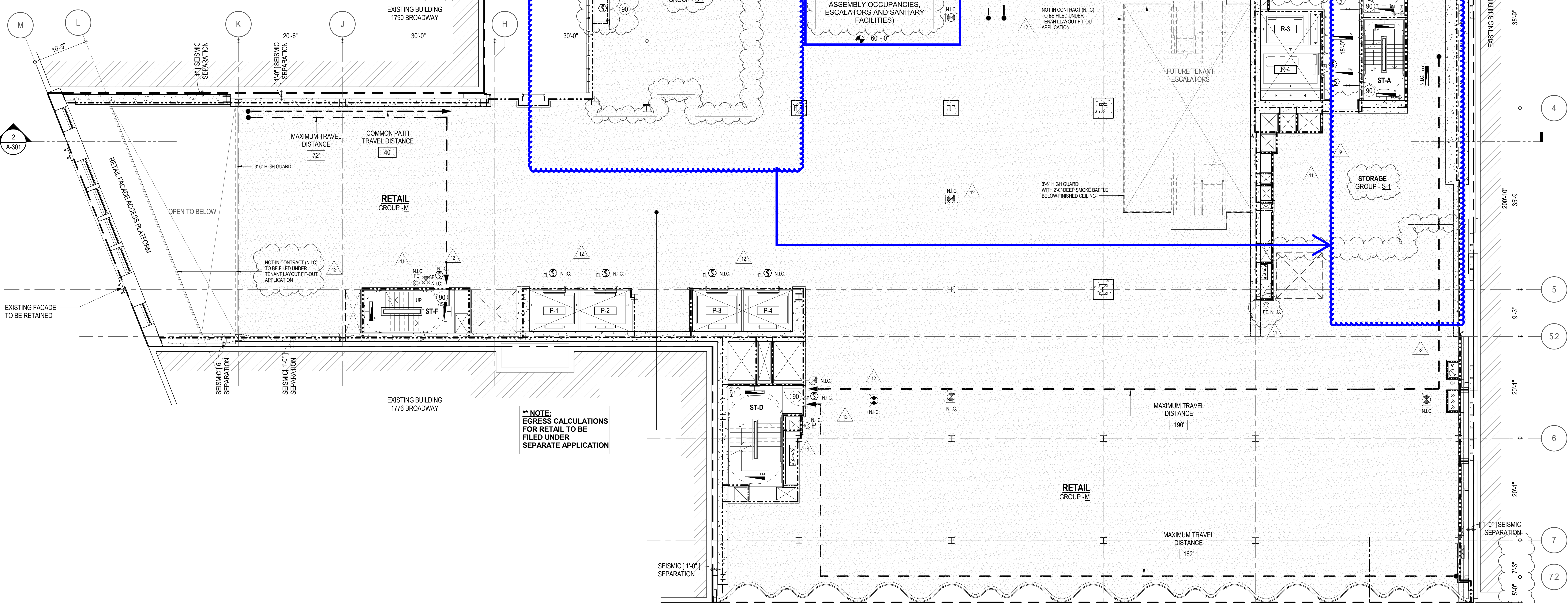
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (456)
STAIR - C - DOOR	40"	0.2	200	136
STAIR - D - DOOR	40"	0.2	200	136
STAIR - E - DOOR	40"	0.2	200	136
STAIR - F - DOOR	34"	0.2	170	48

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	56.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1016.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



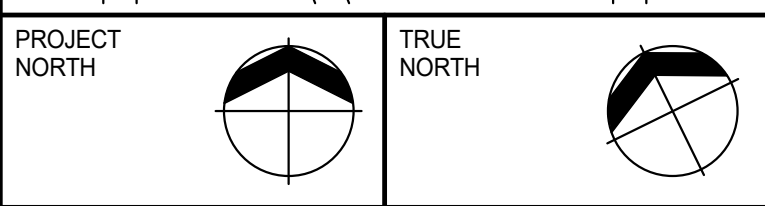
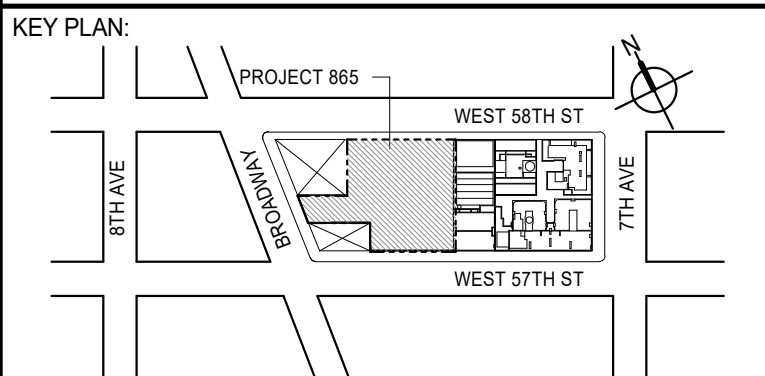
* RESTROOM FACILITIES ARE LOCATED ON 5TH FLOOR

EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
TWO HOUR RATED PARTITION	DEAD END
THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
NON RATED SMOKE SEPARATION	

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
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No.	DESCRIPTION	DATE
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	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **4TH FLOOR PLAN**

SEAL & SIGNATURE	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 12
CHK: Checker	SCALE: 1/8" = 1'-0"
DWG No: A-039.02	DOB PAGE No: 12 of 33
DOB EMPLOYEE STAMP:	DOB S-SIGN:

OCCUPANT LOADS SUMMARY 5TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	2,404 SF	15 SF	161
ASSEMBLY	A-2	1,486 SF	15 SF	100
KITCHEN	M	2,016 SF	200 SF	9
RETAIL	M	21,168 SF	60 SF	353
STORAGE	S-1	1,226 SF	300 SF	5
STORAGE	S-1	1,537 SF	300 SF	6
Grand Total				634

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
STAIR - C	60"	0.3	200	164
STAIR - D	60"	0.3	200	164
STAIR - E	60"	0.3	200	164
STAIR - F	44"	0.3	146	142

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

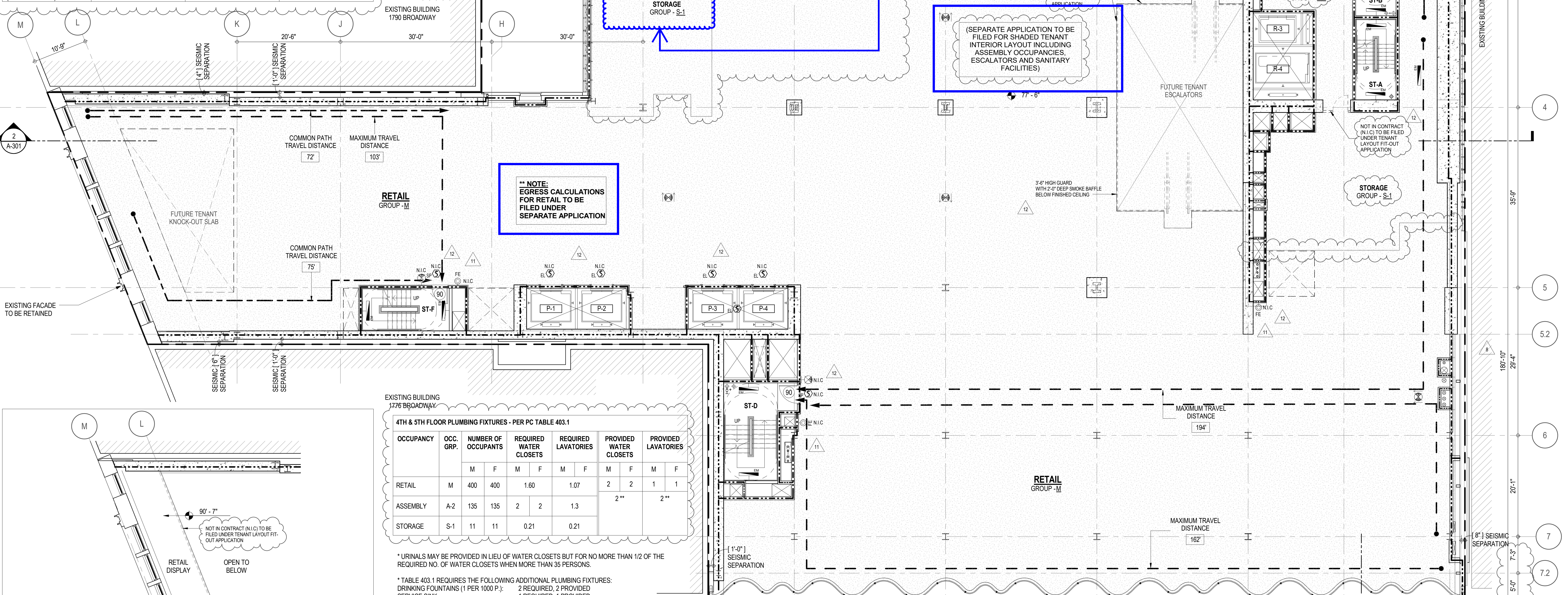
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
STAIR - C - DOOR	40"	0.2	200	164
STAIR - D - DOOR	40"	0.2	200	164
STAIR - E - DOOR	40"	0.2	200	164
STAIR - F - DOOR	34"	0.2	170	142

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	70.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			



**** NOTE: EGRESS CALCULATIONS FOR RETAIL TO BE FILED UNDER SEPARATE APPLICATION**

(SEPARATE APPLICATION TO BE FILED FOR SHADED TENANT INTERIOR LAYOUT INCLUDING ASSEMBLY OCCUPANCIES, ESCALATORS AND SANITARY FACILITIES)

EXISTING BUILDING 1730 BROADWAY

4TH & 5TH FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M	F	M	F	M	F	M	F	M	F
RETAIL	M	400	400	1.60	1.07	2	2	1	1		
ASSEMBLY	A-2	135	135	2	2	1.3		2			
STORAGE	S-1	11	11	0.21	0.21						

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES: DRINKING FOUNTAINS (1 PER 1000 P.); 2 REQUIRED, 2 PROVIDED SERVICE SINK; 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX RESTROOM

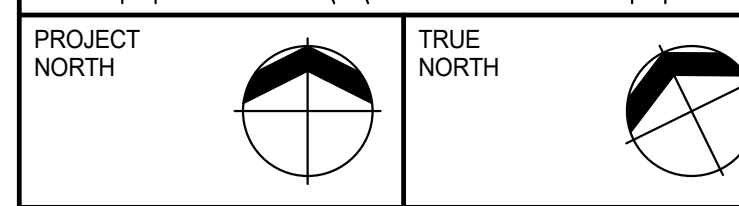
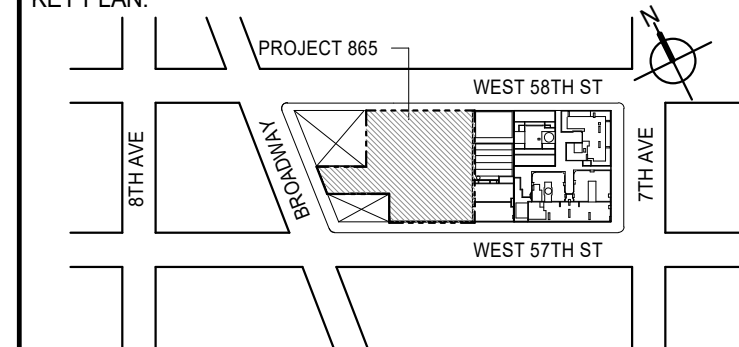
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	WALL MOUNTED ILLUMINATED NO EXIT SIGN	●	FIRE EXTINGUISHER CABINET	Ⓢ	SMOKE DETECTOR
⬡	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	Ⓢ	SMOKE / CARBON MONOXIDE DETECTOR
⬡	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬡	ILLUMINATED NO EXIT SIGN	●	STANDPIPE	Ⓢ	CEILING MOUNTED EMERGENCY LIGHT
⬡	ILLUMINATED EXIT SIGN	⬡	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER RISER	Ⓢ	WALL MOUNTED EMERGENCY LIGHT
				●	SIAMESE CONNECTION	90	DOOR RATING (MINUTES)

INTERMEDIATE 1780 FACADE ACCESS PLATFORM



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LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
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0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE:

5TH FLOOR PLAN






SEAL & SIGNATURE:	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHK: Checker
DWG No:	REV: 13
	SCALE: 1/8" = 1'-0"
	DOB PAGE No: 13 of 33
	DOB B-SCAN:

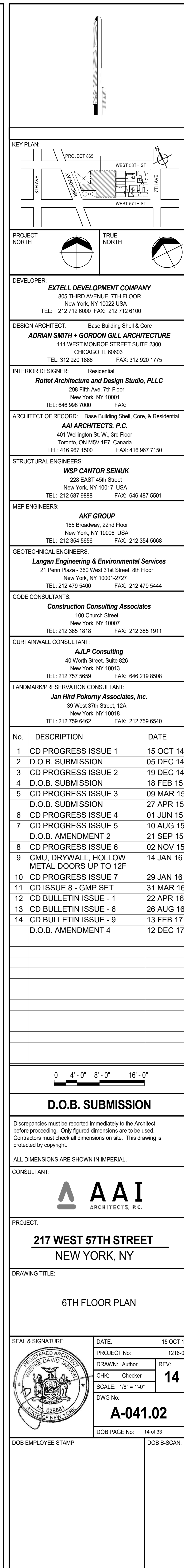
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	6.87"	34	96.34"
STAIR - D	11"	6.87"	34	61.94"
STAIR - E	11"	6.87"	34	61.94"
STAIR - F	11"	6.87"	34	68.81"

Architectural floor plan of a building, showing various rooms, corridors, and service areas. The plan includes labels for rooms such as:

- RETAIL ELEVATOR LOBBY
- TANK ROOM GROUP - E-2
- FAN ROOM GROUP - E-2
- RETAIL MER GROUP - E-2
- ELECTRICAL ROOM GROUP - E-2
- ELEVATOR LOBBY
- ELEVATOR VESTIBULE
- RESIDENTIAL MER TELECOM GROUP - E-2
- FAN & PLENUM ROOM GROUP - E-2
- CORRIDOR
- AIRWELL
- SEISMIC [1'-0"] SEPARATION
- NOT IN CONTRACT (NIC) TO BE FILED UNDER TENANT LAYOUT SET-OUT APPLICATION
- MAXIMUM TRAVEL DISTANCE
- DEAD END TRAVEL DISTANCE
- STEP UP TRANSFORMERS FOR BUILDING GROUP - E-2
- RETAIL MEP GROUP - E-2
- RETAIL GROUP - E-2
- ELECTRICAL ROOM GROUP - E-2
- FAN ROOM GROUP - E-2
- ELEVATOR LOBBY
- ELEVATOR VESTIBULE
- RESIDENTIAL MER TELECOM GROUP - E-2
- FAN & PLENUM ROOM GROUP - E-2
- CORRIDOR
- AIRWELL
- SEISMIC [1'-0"] SEPARATION

The plan also shows dimensions, room numbers, and various symbols for doors, windows, and furniture.

	SMOKE DETECTOR
	SMOKE /CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



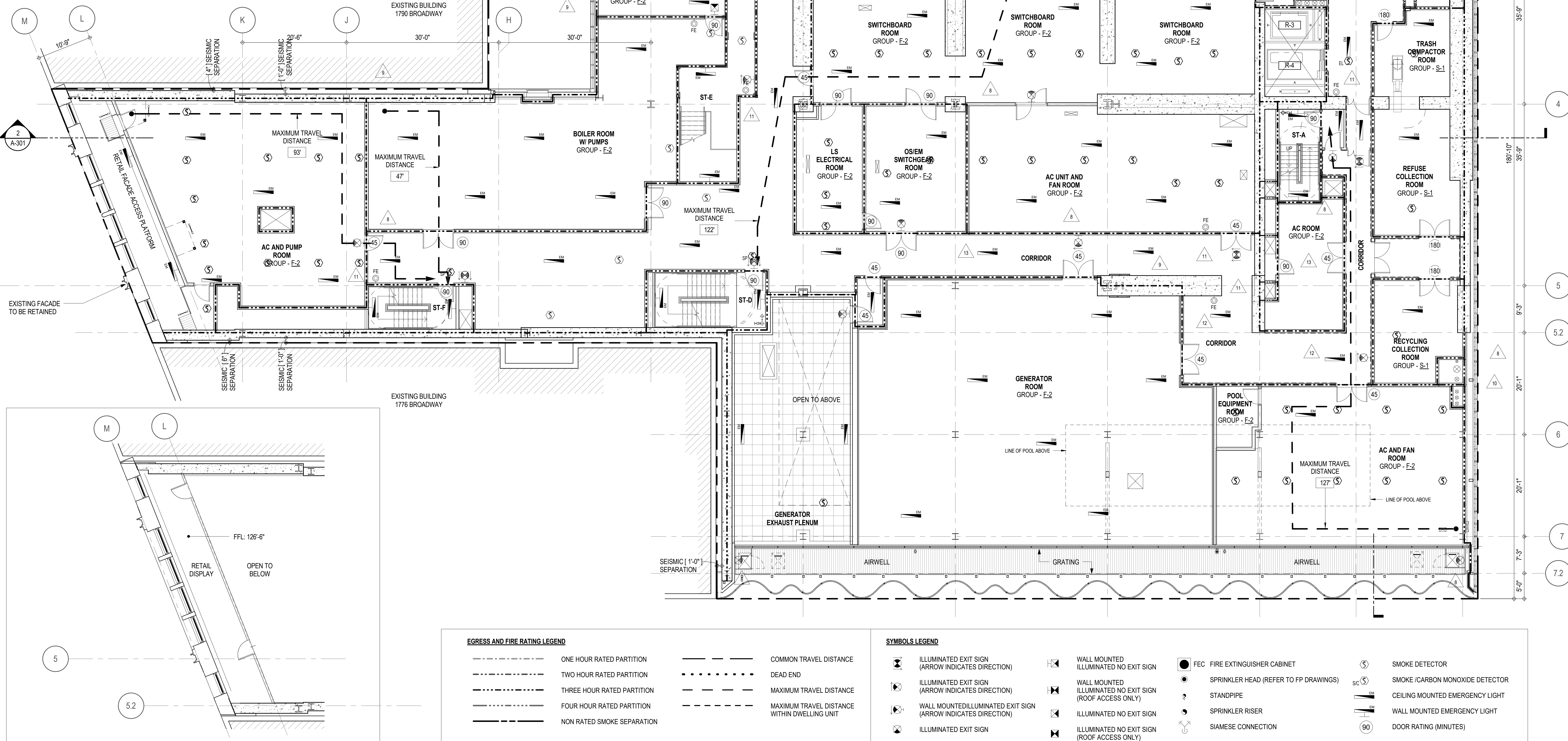
OCCUPANT LOADS SUMMARY 7TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
AC AND FAN ROOM	F-2	1,474 SF	300 SF	5
AC AND PUMP ROOM	F-2	1,647 SF	300 SF	6
AC ROOM	F-2	346 SF	300 SF	2
AC UNIT AND FAN ROOM	F-2	1,363 SF	300 SF	5
BOILER ROOM W/ PUMPS	F-2	1,849 SF	300 SF	7
CON ED VAULT	F-2	640 SF	300 SF	4
EMR	F-2	690 SF	300 SF	3
EMR AHU ROOM	F-2	381 SF	300 SF	2
FAN AND DW HEATER ROOM	F-2	414 SF	300 SF	2
FAN ROOM	F-2	472 SF	300 SF	2
GENERATOR ROOM	F-2	3,468 SF	300 SF	12
LS ELECTRICAL ROOM	F-2	336 SF	300 SF	2
NETWORK ROOM	F-2	565 SF	300 SF	4
OS/EM SWITCHGEAR ROOM	F-2	509 SF	300 SF	2
POOL EQUIPMENT ROOM	F-2	108 SF	300 SF	1
SWITCHBOARD ROOM	F-2	3,754 SF	300 SF	13
RECYCLING COLLECTION ROOM	S-1	361 SF	300 SF	2
REFUSE COLLECTION ROOM	S-1	397 SF	300 SF	2
TRASH COMPACTOR ROOM	S-1	242 SF	300 SF	1
Grand total				77

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.44"	34	66.69"
STAIR - B	9.5"	7.44"	34	66.69"
STAIR - C	11"	7"	36	84.00"
STAIR - D	11"	7"	36	63.00"
STAIR - E	11"	7"	36	70.00"
STAIR - F	11"	7"	36	70.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (1038)	STAIR LOAD TOTAL (77)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12
STAIR - C	60"	0.3	200	14
STAIR - D	60"	0.3	200	14
STAIR - E	60"	0.3	200	15
STAIR - F	44"	0.3	146	10

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1110)	DOOR LOAD TOTAL (77)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12
STAIR - C - DOOR	40"	0.2	200	14
STAIR - D - DOOR	40"	0.2	200	14
STAIR - E - DOOR	40"	0.2	200	15
STAIR - F - DOOR	34"	0.2	170	10

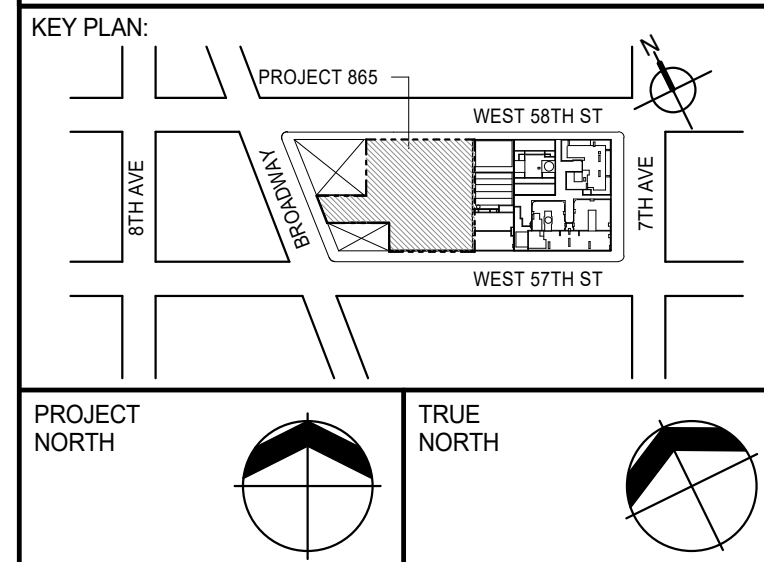


EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN	☒	FEC FIRE EXTINGUISHER CABINET	☒	SMOKE DETECTOR
☒	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	☒	SPRINKLER HEAD (REFER TO PP DRAWINGS)	☒	SMOKE / CARBON MONOXIDE DETECTOR
☒	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☒	ILLUMINATED NO EXIT SIGN	☒	SPRINKLER RISER	☒	CEILING MOUNTED EMERGENCY LIGHT
☒	ILLUMINATED EXIT SIGN	☒	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	☒	SIAMESE CONNECTION	☒	WALL MOUNTED EMERGENCY LIGHT
						☒	DOOR RATING (MINUTES)



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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
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	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16
	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **7TH FLOOR PLAN**

SEAL & SIGNATURE	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 13
CHK: Checker	SCALE: 1/8" = 1'-0"
DWG No: A-042.03	DOB PAGE No: 15 of 33
DOB EMPLOYEE STAMP:	DOB 5-SCAN:

OCCUPANT LOADS SUMMARY 8TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
LOUNGE	A-2	1,262 SF	15 SF	85*
RESIDENTIAL AMENITY POOL	A-2	1,050 SF	50 SF	21
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	8,367 SF	15 SF	558
SCREENING ROOM	A-2	1,311 SF	15 SF	88*
A-2				752

FACADE MAINTENANCE SPACE	F-2	282 SF	300 SF	1
STAFF BATHROOM	F-2	69 SF	300 SF	1*
F-2 (ACCESSORY SPACE)				2

CONFERENCE ROOM	R-2	253 SF	15 SF	17*
PAINTRY	R-2	699 SF	200 SF	3*
TWEEN LOUNGE	R-2	411 SF	15 SF	28*
R-2				49
Grand total				802

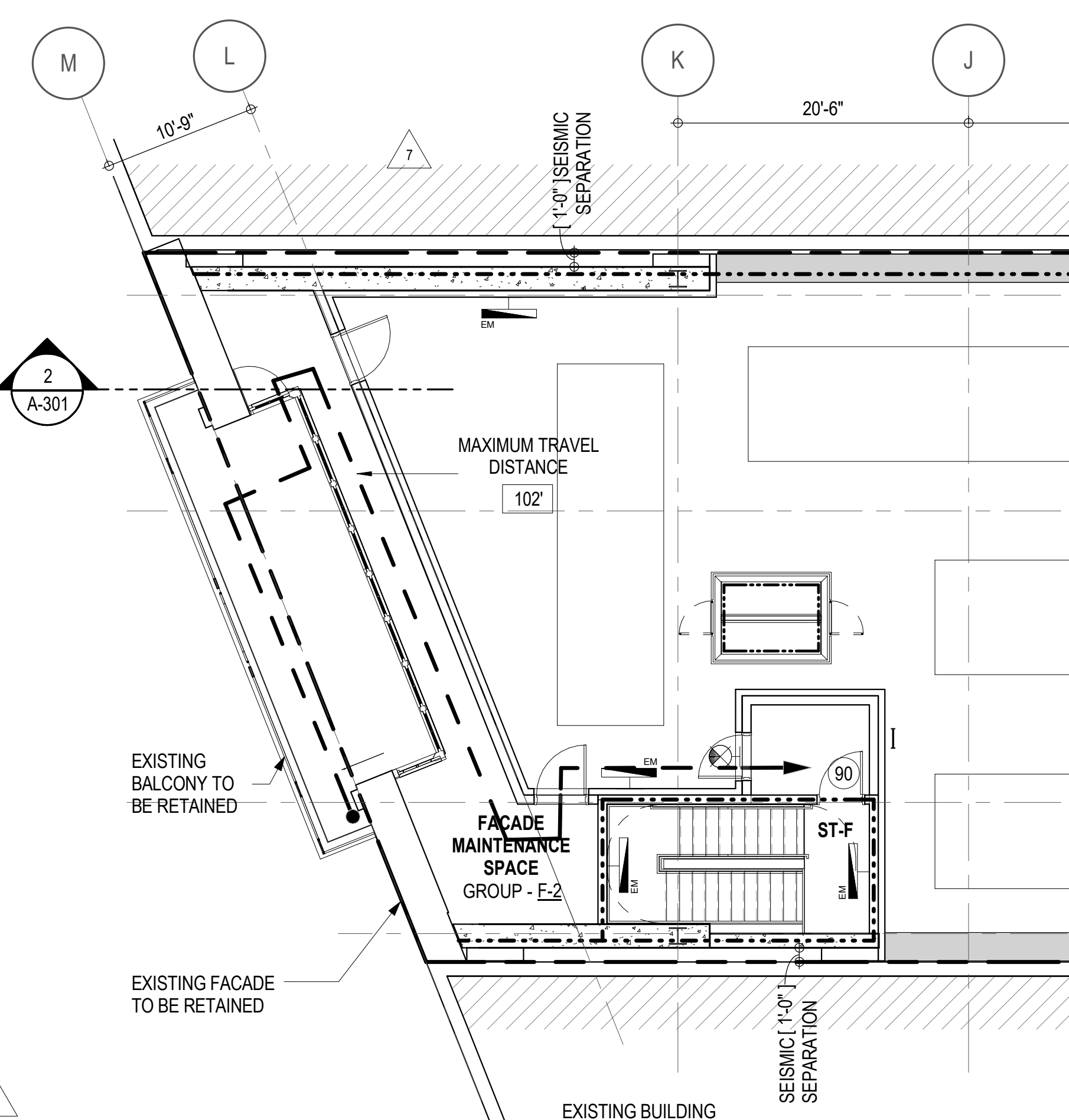
* INTERIOR SPACES: ONLY TO USE EXIT STAIRS A AND B. TOTAL INTERIOR OCCUPANT LOAD = 222

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (1038)	STAIR LOAD TOTAL (802)
STAIR - A	44"	0.3	146	111
STAIR - B	44"	0.3	146	111
STAIR - C	60"	0.3	200	193
STAIR - D	60"	0.3	200	193
STAIR - E	60"	0.3	200	193
STAIR - F	44"	0.3	146	111

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1110)	DOOR LOAD TOTAL (802)
STAIR - A - DOOR	34"	0.2	170	111
STAIR - B - DOOR	34"	0.2	170	111
STAIR - C - DOOR	40"	0.2	200	193
STAIR - D - DOOR	40"	0.2	200	193
STAIR - E - DOOR	40"	0.2	200	193
STAIR - F - DOOR	34"	0.2	170	111



EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	33	76.69"
STAIR - B	9.5"	7.69"	33	76.69"
STAIR - C	11"	7"	36	126.00"
STAIR - D	11"	6.81"	37	81.73"
STAIR - E	11"	6.81"	37	68.11"
STAIR - F	11"	6.81"	37	73.33"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-2	250'	100'	20'
A-2	PRIMARY = 150'	SECONDARY = 250'	20'

PLUMBING FIXTURES - PER PC TABLE 403.1

(BASED ON NON-SIMULTANEOUS SEASONAL OUTDOOR OCCUPANCY)

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	290	290	4	8	2	2				
			<div>14</div>					6	10	3	4
LOUNGE / SCREENING RM.	A-2	87	87	2	2	1	1				
ASSEMBLY	A-2 (TOTALS)			6	10	3	3	6	10	3	4
ACCESSORY	R-2	24	24	1	1	1	1	1	1	1	1

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES: DRINKING FOUNTAINS (1 PER 500 P.); 2 REQUIRED, 2 PROVIDED; SERVICE SINK; 1 REQUIRED, 1 PROVIDED

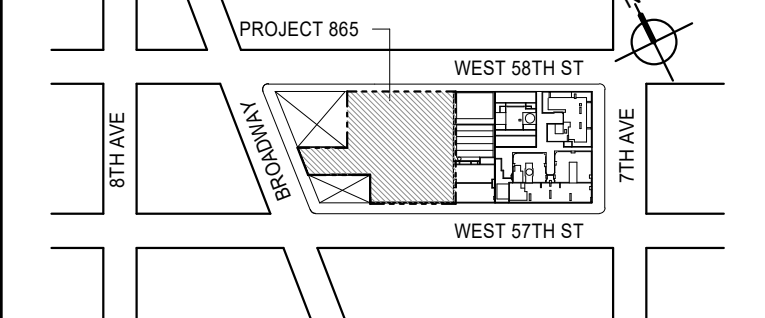
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

☐	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☐	WALL MOUNTED ILLUMINATED NO EXIT SIGN	☑	FEC FIRE EXTINGUISHER CABINET	☑	SMOKE DETECTOR
☐	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☐	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	☑	SPRINKLER HEAD (REFER TO FP DRAWINGS)	☑	SMOKE / CARBON MONOXIDE DETECTOR
☐	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☐	ILLUMINATED NO EXIT SIGN	☑	STANDPIPE	☑	CEILING MOUNTED EMERGENCY LIGHT
☐	ILLUMINATED EXIT SIGN	☐	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	☑	SPRINKLER RISER	☑	WALL MOUNTED EMERGENCY LIGHT
				☑	SIAMESE CONNECTION	☑	DOOR RATING (MINUTES)

KEY PLAN



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9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
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13	CD BULLETIN ISSUE - 2	22 APR 16
14	D.O.B. AMENDMENT 3	11 MAY 16
15	ASI ISSUE - 11	03 OCT 16
16	CD BULLETIN ISSUE - 9	16 DEC 16
17	D.O.B. AMENDMENT 4	13 FEB 17
18		12 DEC 17

0 4' - 0" 8' - 0" 16' - 0"

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CONSULTANT:



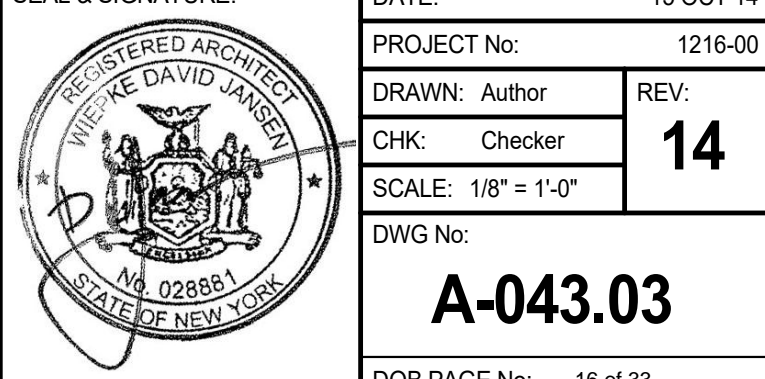
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

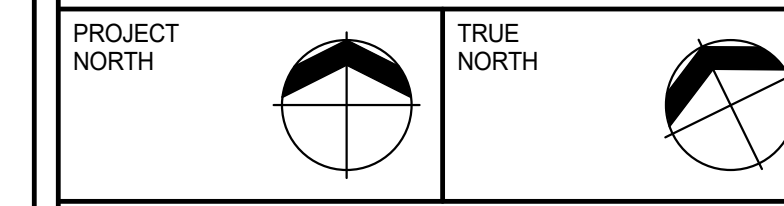
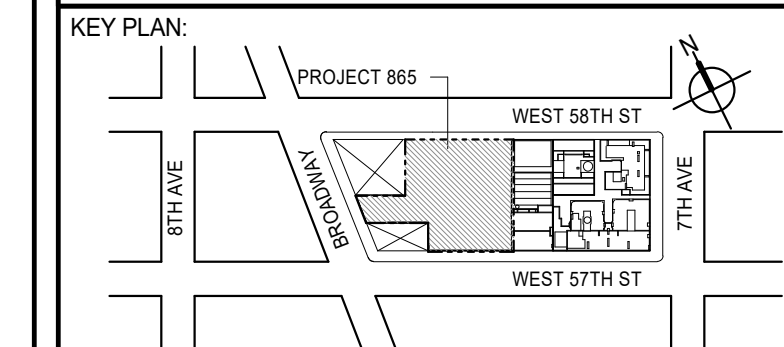
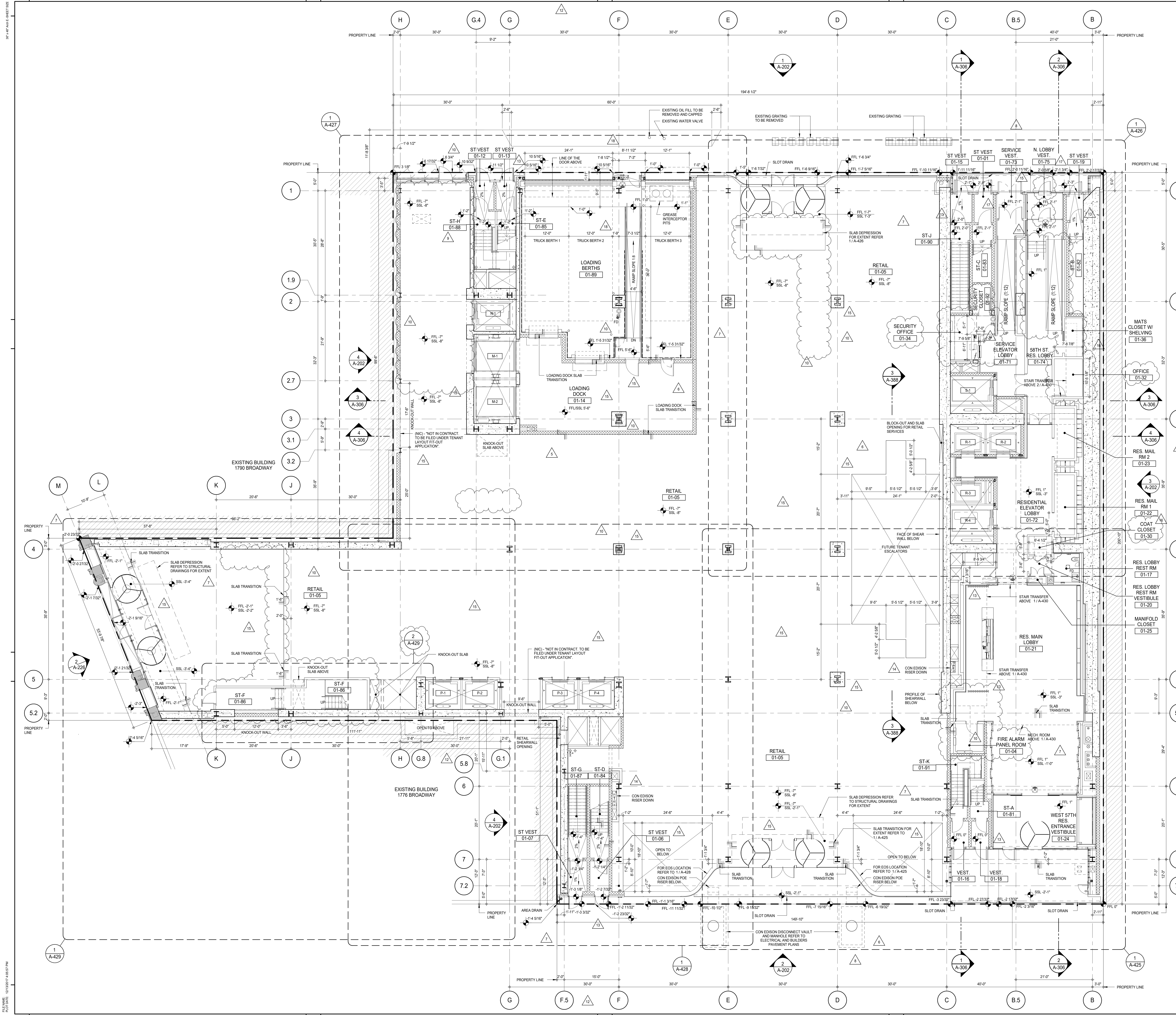
8TH FLOOR PLAN

SEAL & SIGNATURE



DOB EMPLOYEE STAMP: 16 of 33

DOB 5-SCAN:



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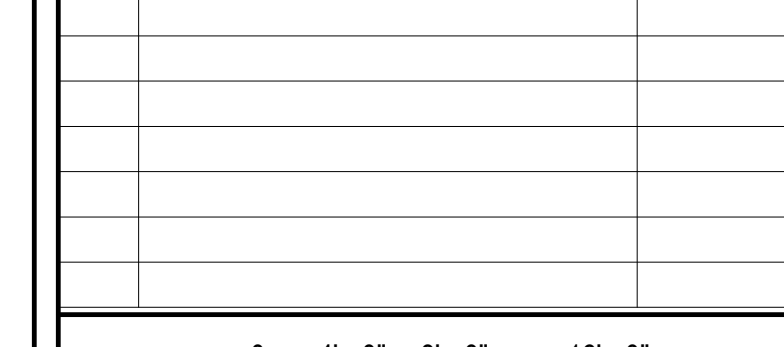
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7	D.O.B. AMENDMENT 1	24 JUL 15
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14	ASI ISSUE - 1	18 MAY 16
15	CD BULLETIN ISSUE - 4	15 JUL 16
16	CD BULLETIN ISSUE - 5	12 AUG 16
17	CD BULLETIN ISSUE - 6	26 AUG 16
18	ASI ISSUE - 11	16 DEC 16
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21	D.O.B. AMENDMENT 4	12 DEC 17



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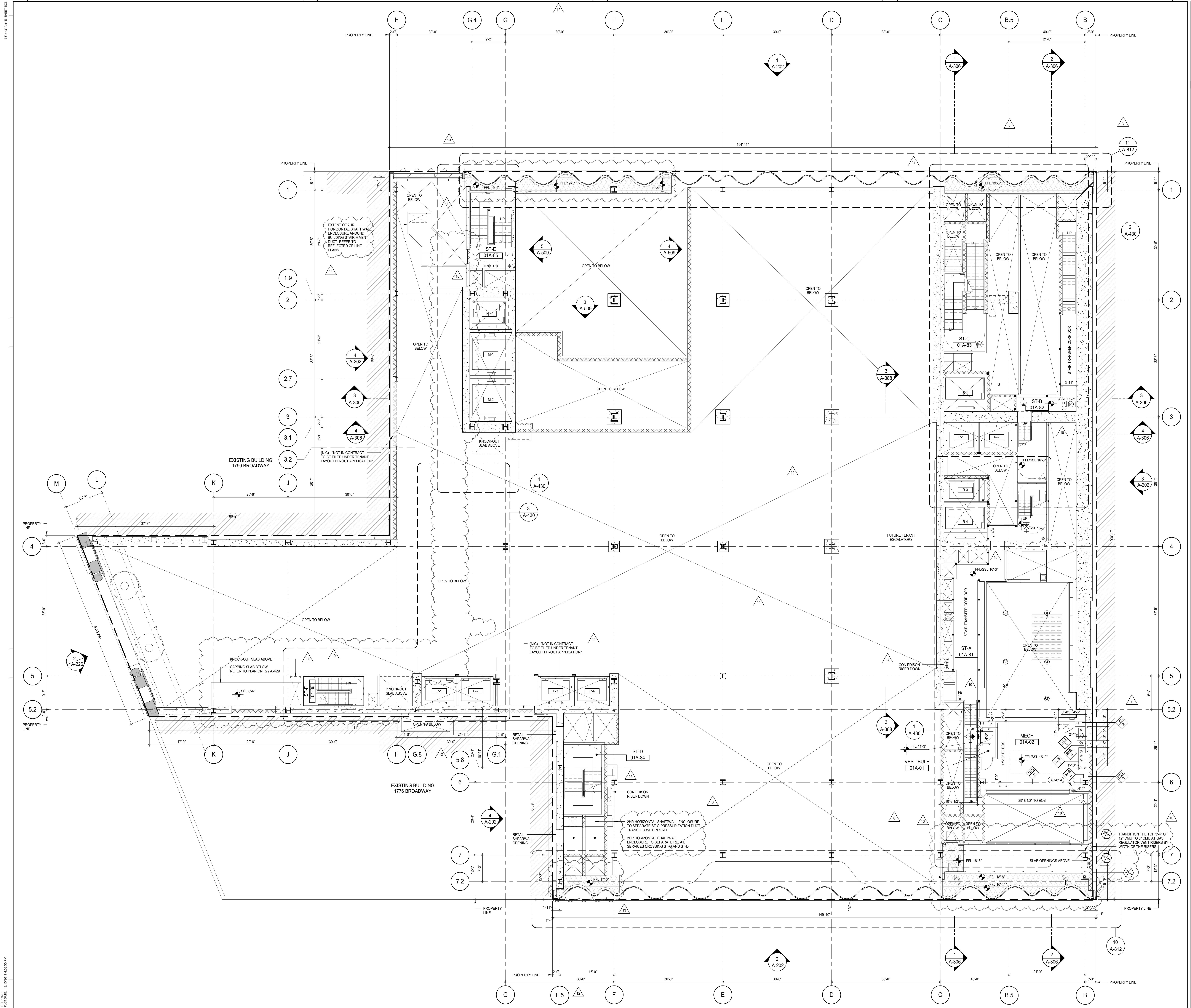
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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR PLAN (LOBBY)
(MFD-GROUND FLOOR)**

SEAL & SIGNATURE: **DAVID L. AAI**
DATE: 15 OCT 14
PROJECT NO: 1216-00
DRAWN: Author
CHK: Checker
REV: 18
SCALE: 1/8" = 1'-0"
DVG No: **A-105.04**

DOB EMPLOYEE STAMP: **DOB PAGE No: 17 of 33
DOB 5-SCAN:**



KEY PLAN

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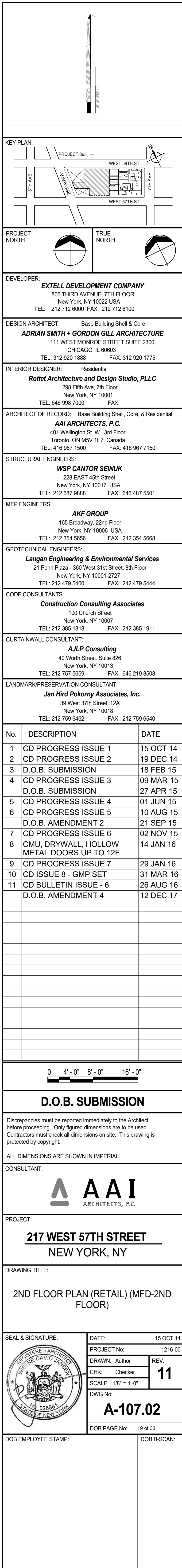
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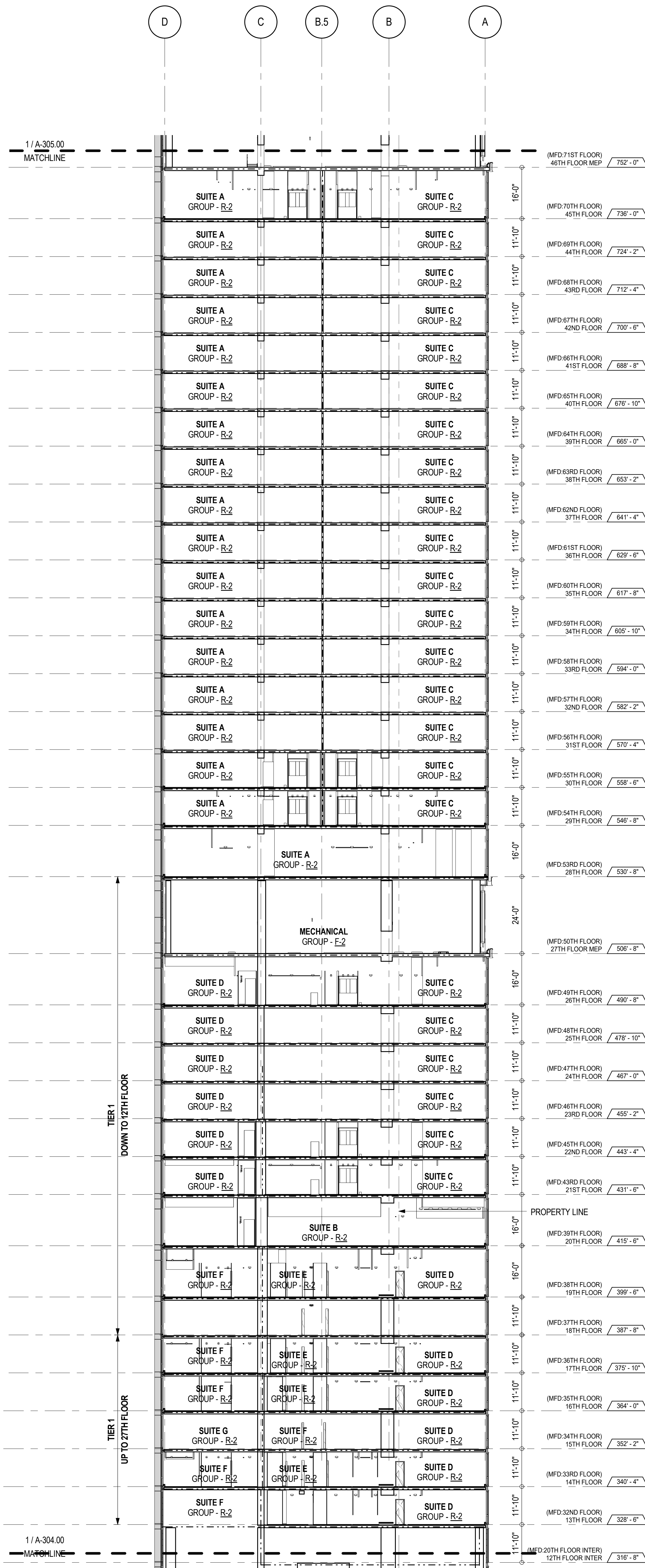
PROJECT: 217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE: GROUND FLOOR PLAN INTERMEDIATE (STAIR TRANSFER) (MFD-GROUND FLOOR INTERMEDIATE)

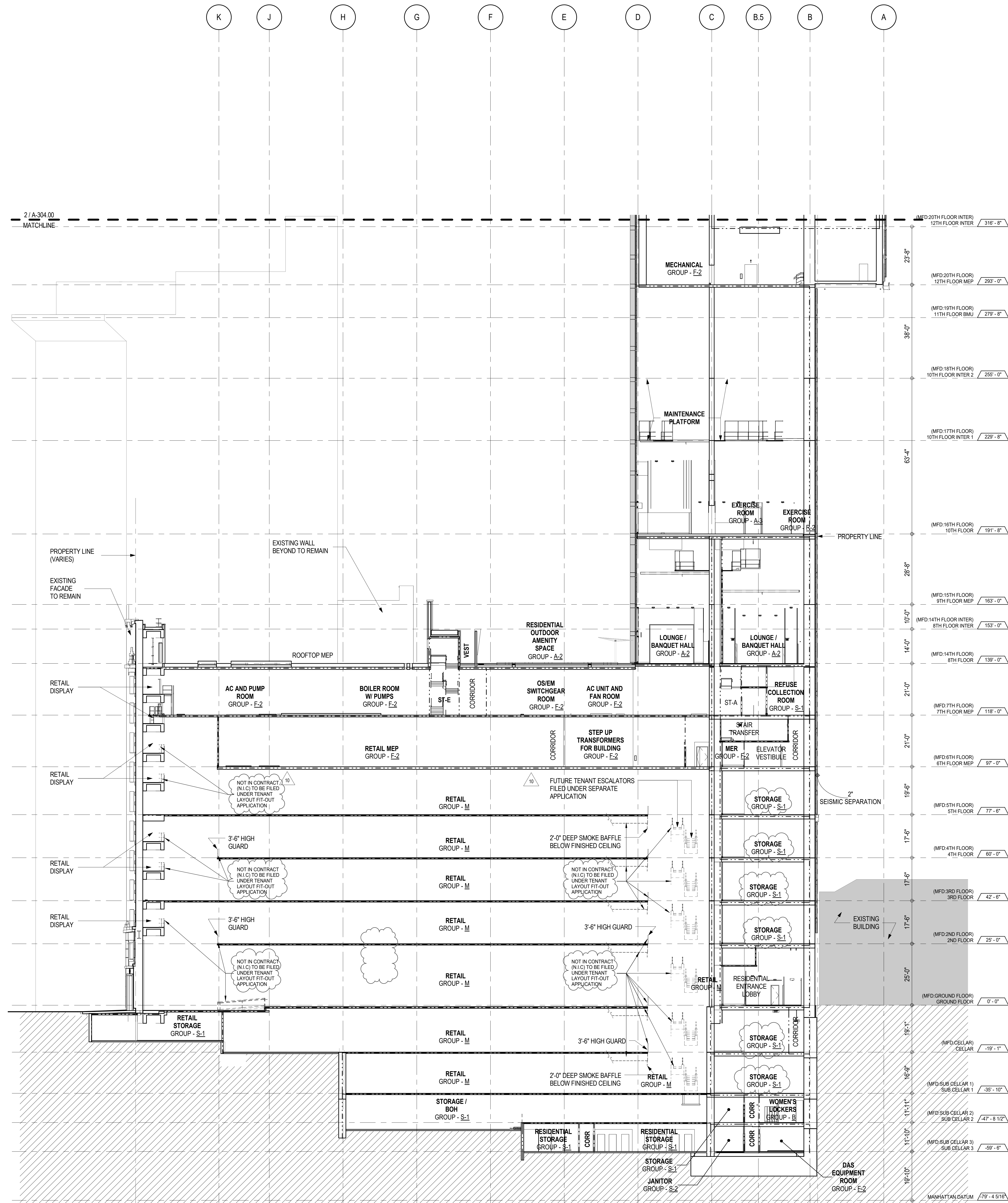
SEAL & SIGNATURE: **DAVID L. AAI**
 PROJECT No: 1216-00
 DRAWN: Author
 CHK: Checker
 SCALE: 1/8" = 1'-0"
 DWG No: **A-106.03**

DATE: 15 OCT 14
REV: 14
 DOB PAGE No: 18 of 33
 DOB 5-SCAN:





3 EAST-WEST BUILDING SECTION - 12TH FLOOR TO 45TH FLOOR
A-301
1/8" = 1'-4"



1 EAST-WEST BUILDING SECTION - SUB CELLAR 3 TO 16TH FLOOR
A-301
1/8" = 1'-4"

PROJECT NO. 11202015.10.15.01A
11202015.10.15.01A

PROJECT NORTH

TRUE NORTH

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17	NEXT ISSUE	Date 25

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CONSULTANT: **AAI ARCHITECTS, P.C.**

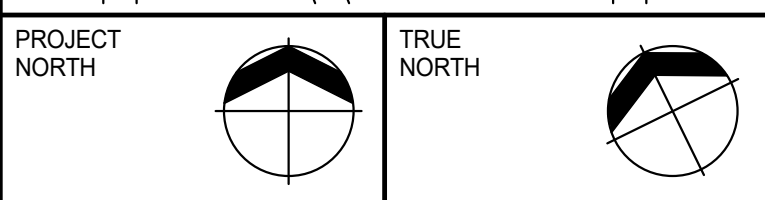
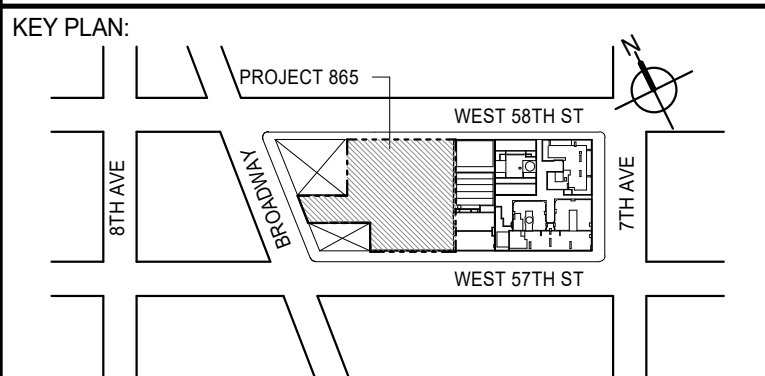
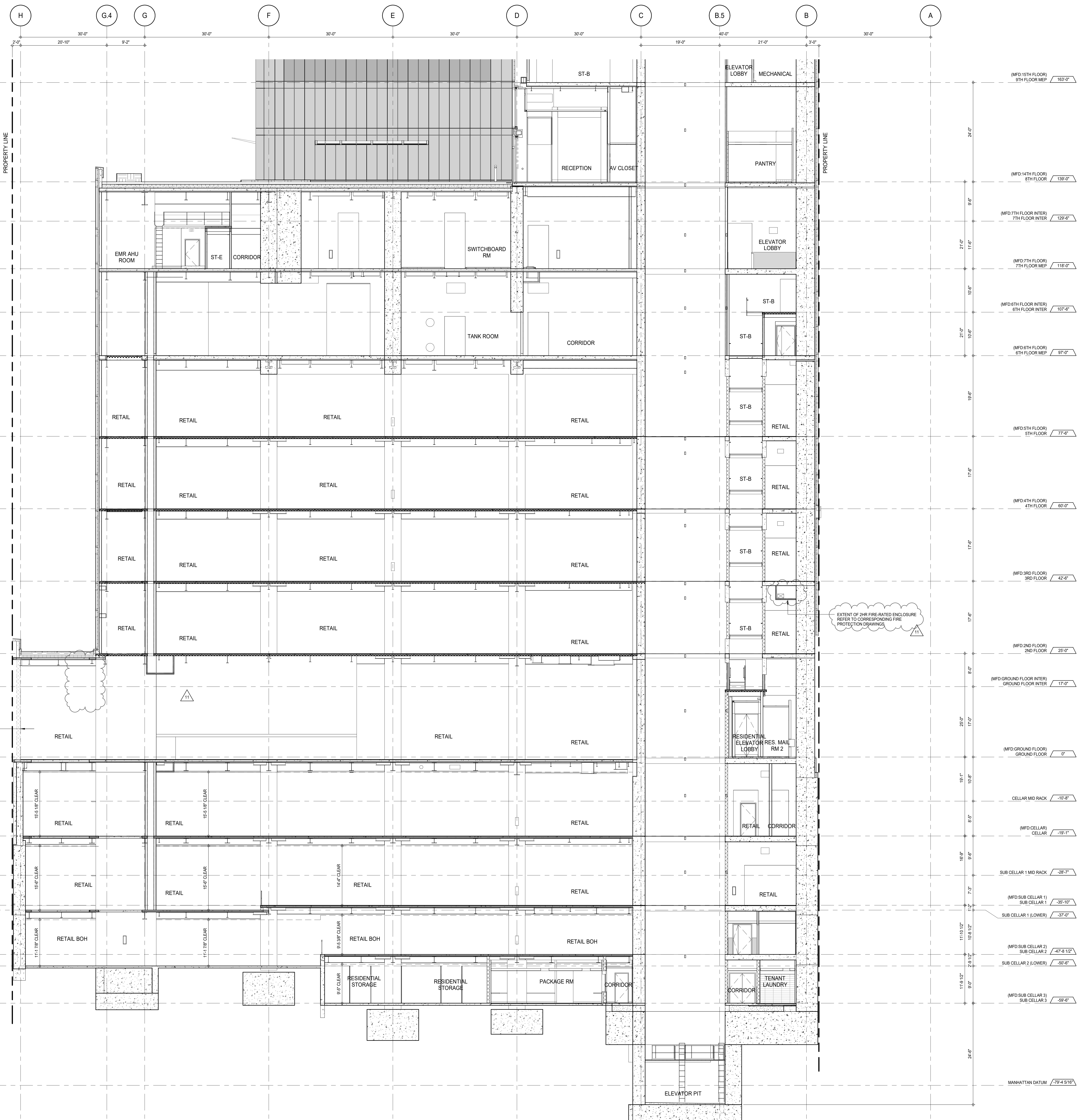
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **EAST-WEST BUILDING SECTION**

SEAL & SIGNATURE

DATE: 05 DEC 14
PROJECT NO: 11202015.10.15.01A
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-4"
DWG No: **A-304.03**
DOB PAGE No: 30 of 33
DOB 5-SCAN:

[illegible]



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
208 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
Base Building Shell, Core, & Residential
401 Wellington St. W., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
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TEL: 212 987 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
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New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 4	12 DEC 17

0 4' - 0" 8' - 0" 16' - 0"

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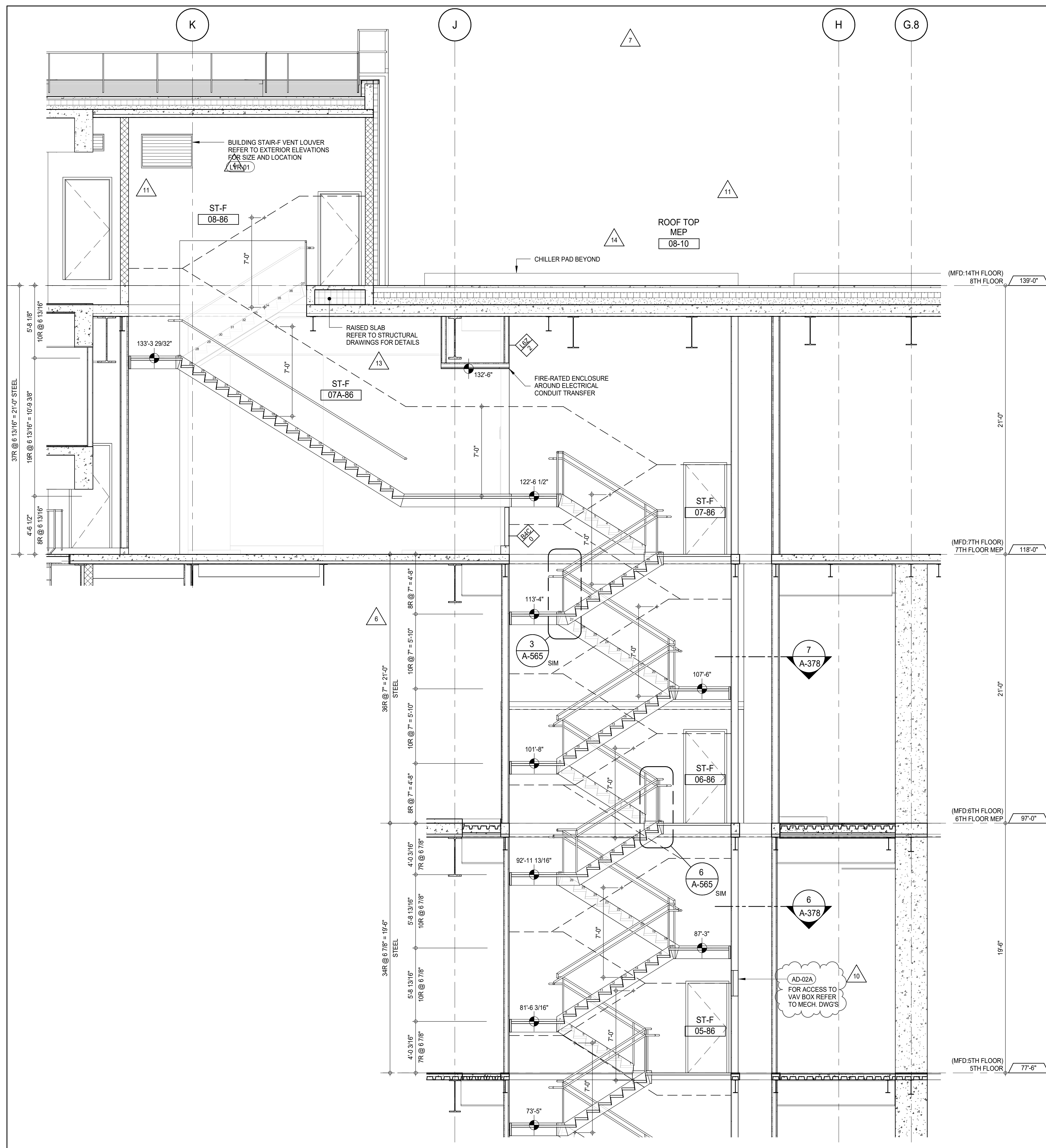
PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PARTIAL SECTION - EAST WEST - SC3 TO 9TH FLOOR**

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-322.03**

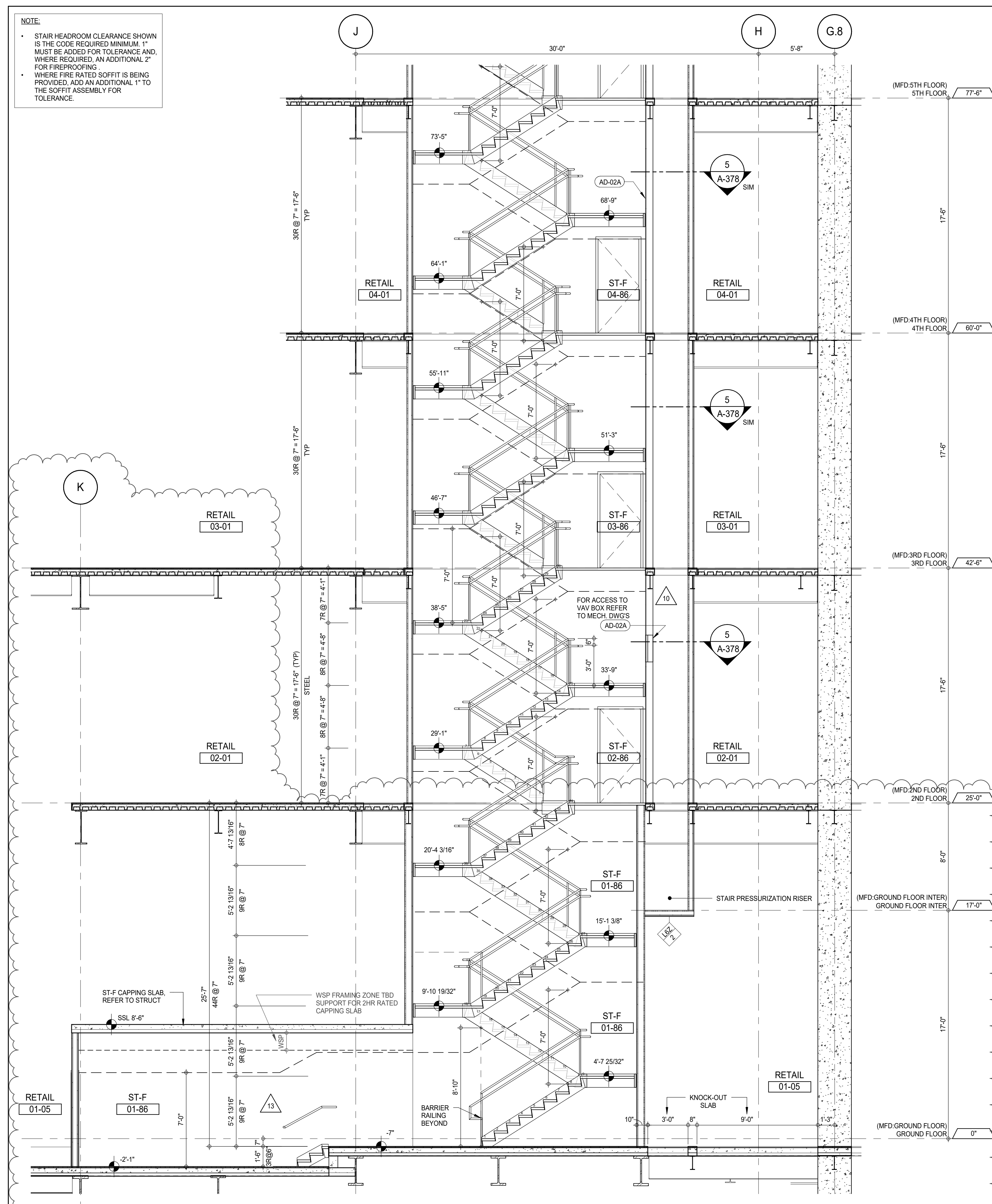
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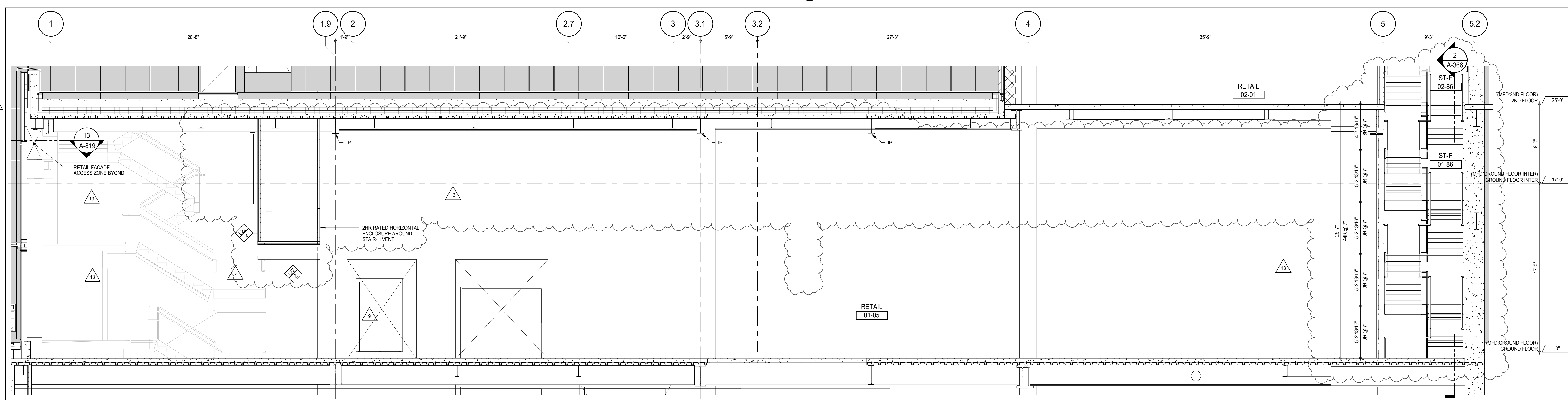


STAIR ST-F SECTION LOOKING NORTH - 5TH TO 8TH FLOORS
A-378
1/4" = 1'-0"

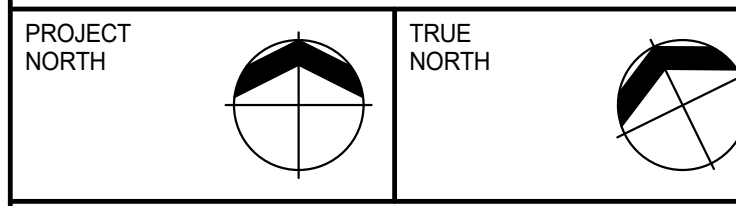
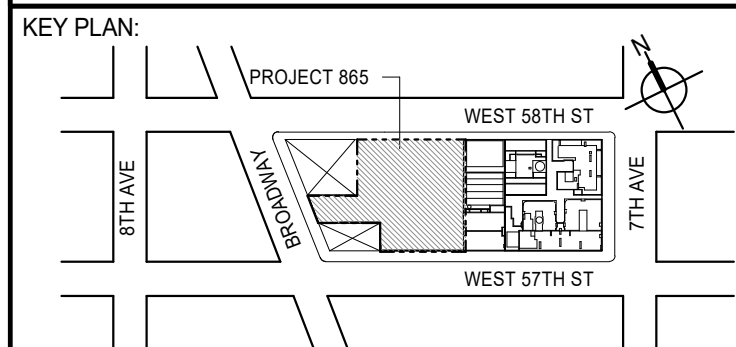
NOTE:
• STAIR HEADROOM CLEARANCE SHOWN IS THE CODE REQUIRED MINIMUM 1" MUST BE ADDED FOR TOLERANCE AND, WHERE REQUIRED, AN ADDITIONAL 2" FOR FIREPROOFING.
• WHERE FIRE RATED SLOTTED IS BEING PROVIDED, ADD AN ADDITIONAL 1" TO THE SLOTTED ASSEMBLY FOR TOLERANCE.



STAIR ST-F SECTION LOOKING NORTH - GROUND TO 5TH FLOORS
A-366
1/4" = 1'-0"



STAIRS ST-F TO ST-E SECTION THRU TRANSFER LOOKING EAST - GROUND TO 2ND FLOORS
A-429
1/4" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
228 Fifth Ave, 7th Floor
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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MEP ENGINEERS:
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TEL: 212 354 5655 FAX: 212 354 5668

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3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 4	15 JUL 16
14	CD BULLETIN ISSUE - 6	26 AUG 16
15	ASI ISSUE - 11	16 DEC 16
16	D.O.B. AMENDMENT 4	12 DEC 17

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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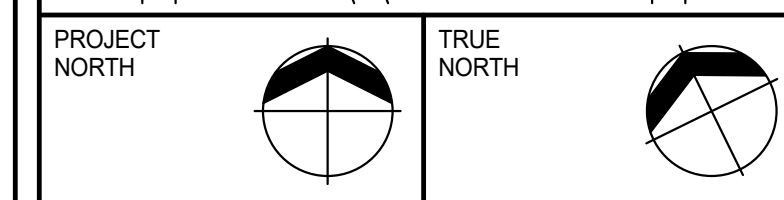
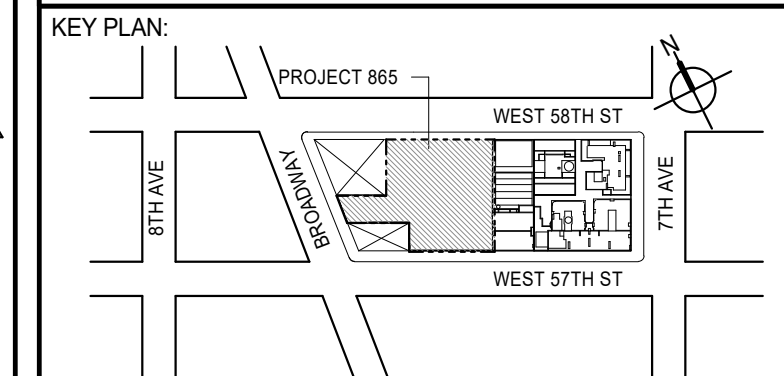
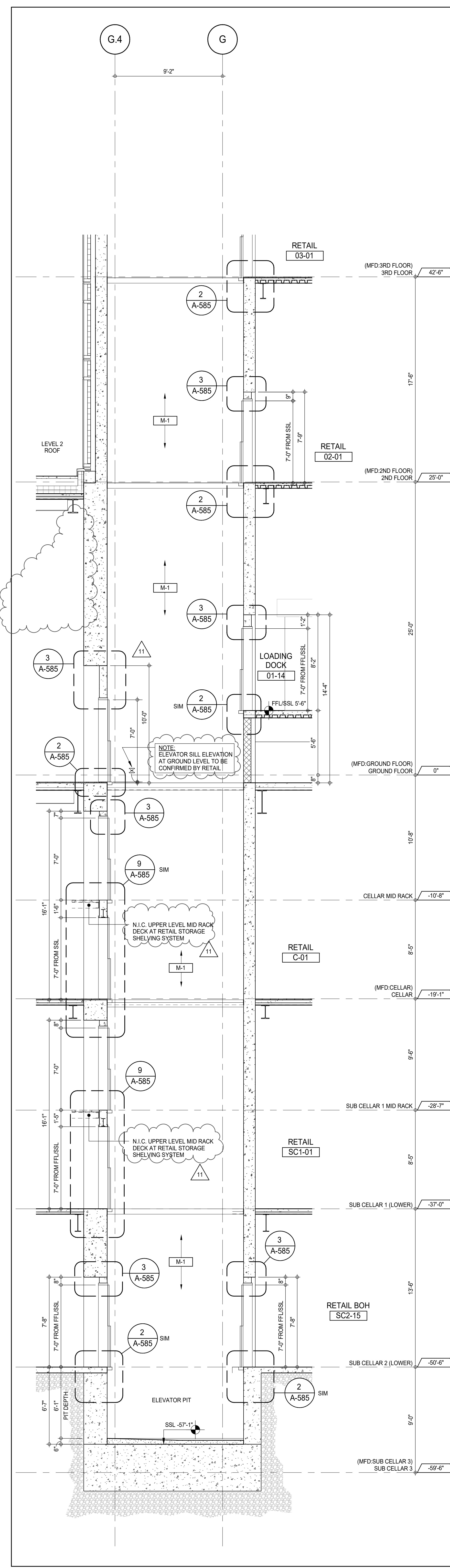
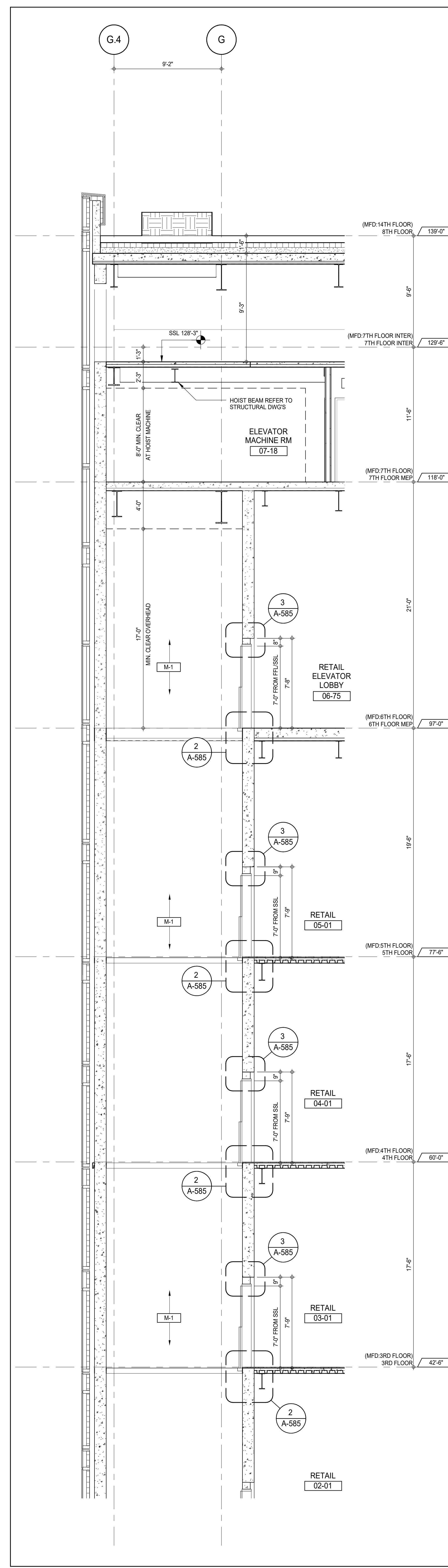
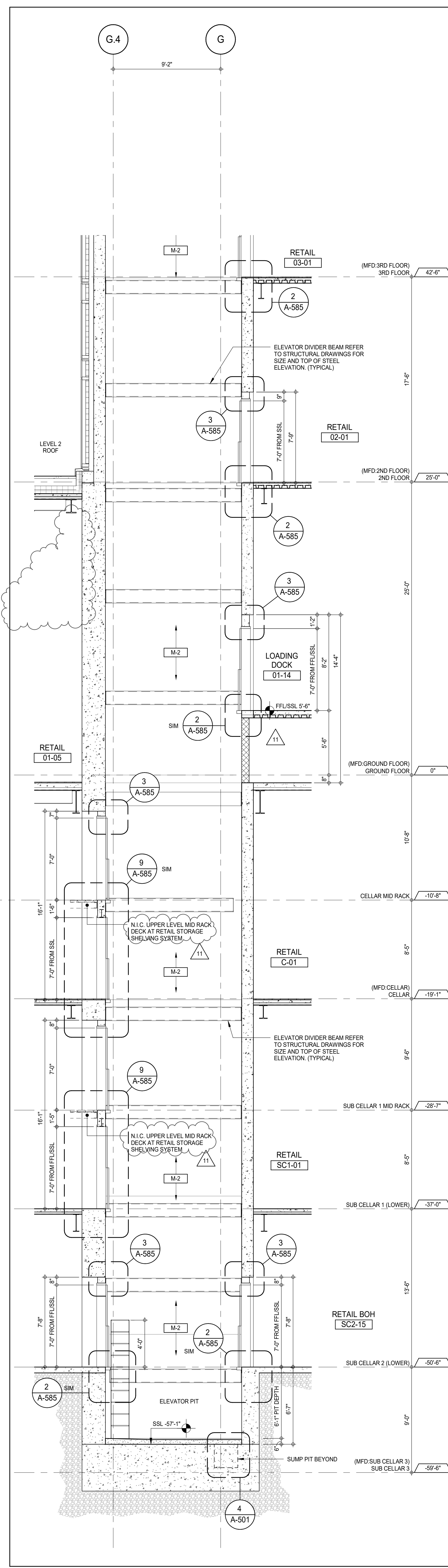
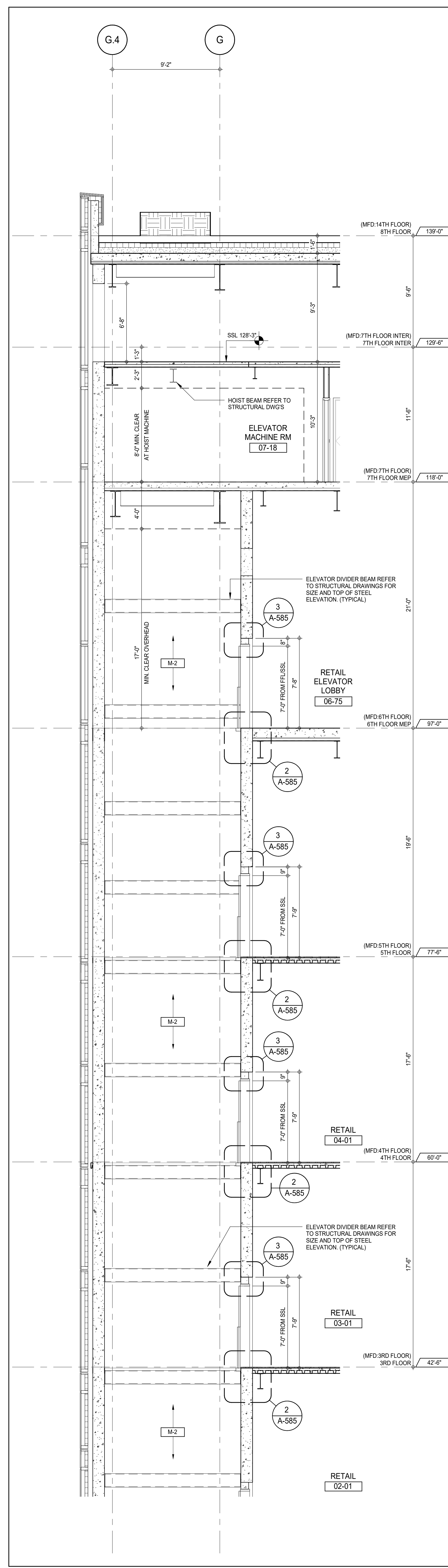
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
STAIRS ST-F SECTIONS

SEAL & SIGNATURE: [Signature of David L. AAI]
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-366.02**
DOB PAGE No: 29 of 33
DOB 5-SCAN:



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
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CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
288 East 45th Street
New York, NY 10017
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
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0 2'-0" 4'-0" 8'-0"

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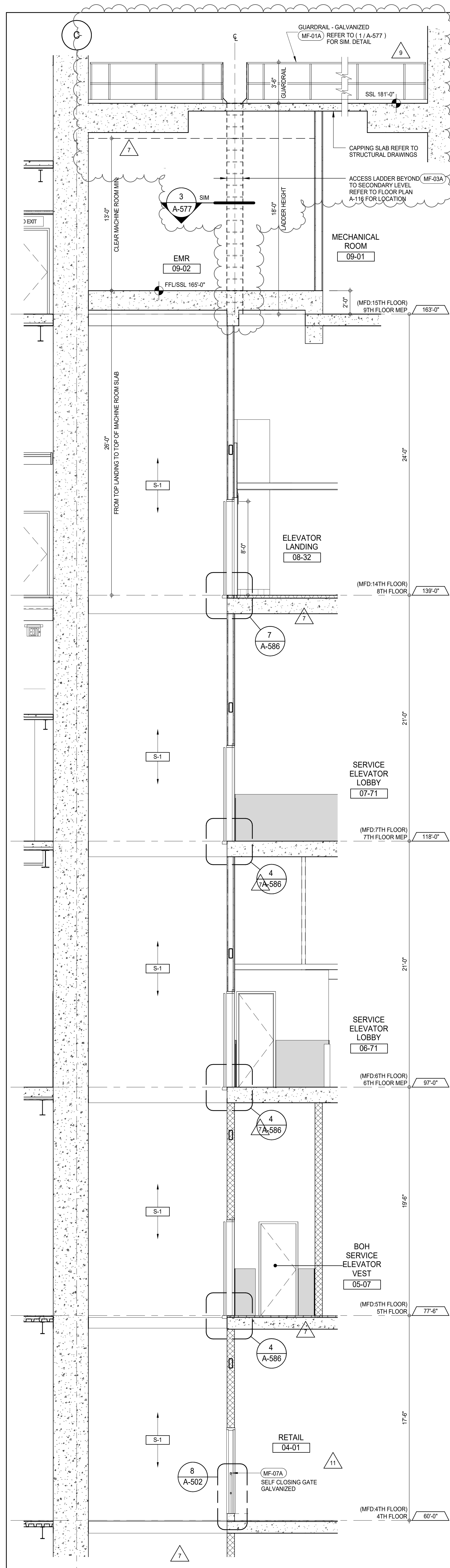
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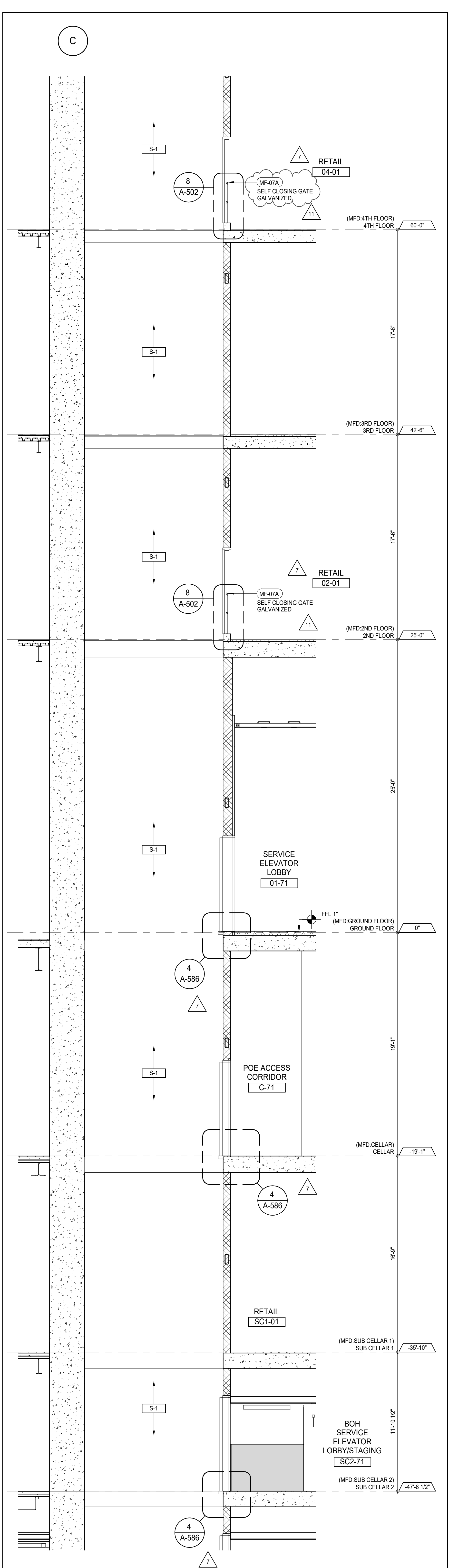
PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PODIUM ELEVATORS M-1 & M-2**
ENLARGED SECTIONS

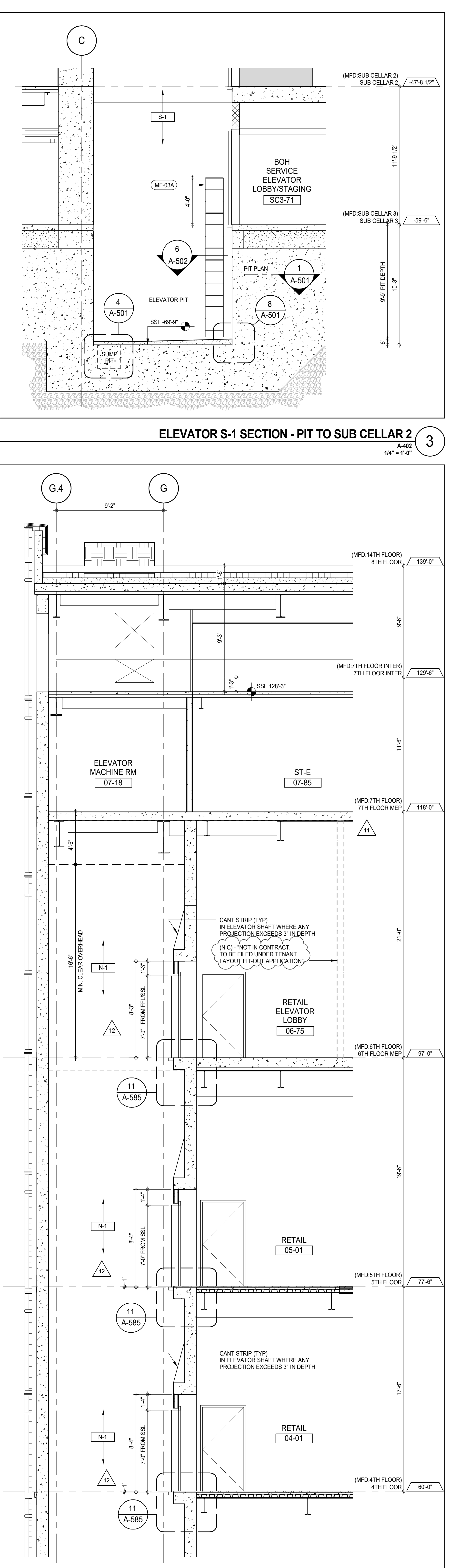
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PROJECT No: 1216-00	REV: 11
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DOB No: 24 of 33	DOB PAGE No: 24 of 33
DOB EMPLOYEE STAMP:	DOB S-CAN:



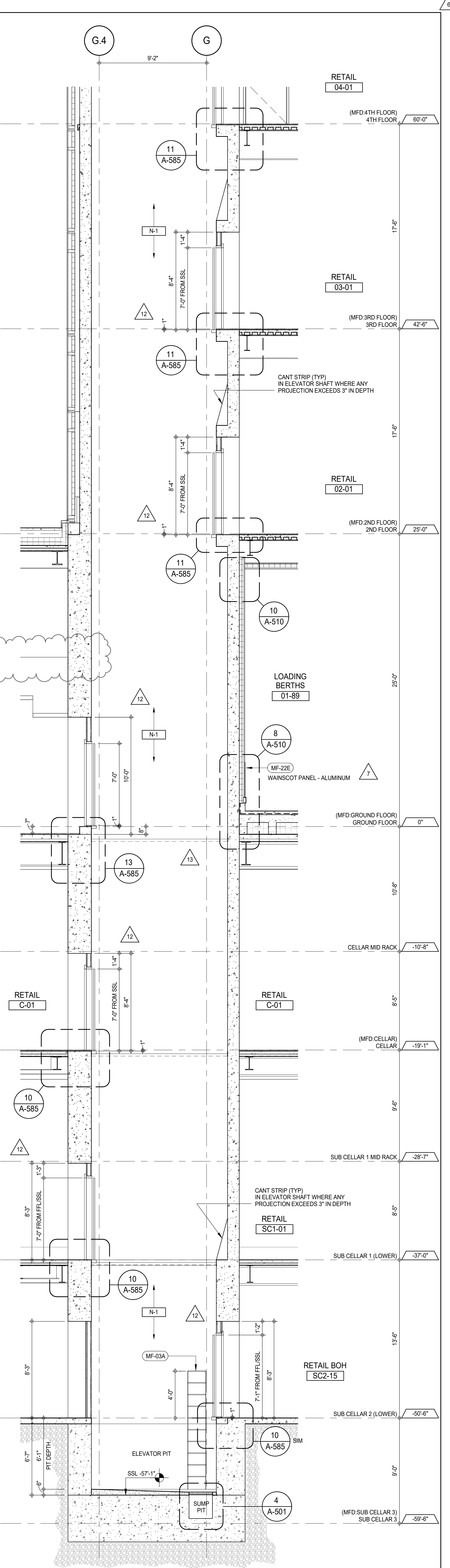
ELEVATOR S-1 SECTION - 5TH TO 9TH FLOOR EMR 5
A-114
1/4" = 1'-0"



ELEVATOR S-1 SECTION - SUB CELLAR 1 TO 4TH FLOOR 4
A-408
1/4" = 1'-0"



ELEVATOR N-1 SECTION - 4TH TO 6TH FLOOR 2
A-461
1/4" = 1'-0"



ELEVATOR N-1 SECTION - PIT TO 3RD FLOOR 1
A-381
1/4" = 1'-0"

KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **ADRIAN SMITH + GORDON GILL ARCHITECTURE**
111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

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14	ASI ISSUE - 11	16 DEC 16
15	ASI ISSUE - 16	27 JAN 17
16	ASI ISSUE - 22	20 JUL 17
17	D.O.B. AMENDMENT 4	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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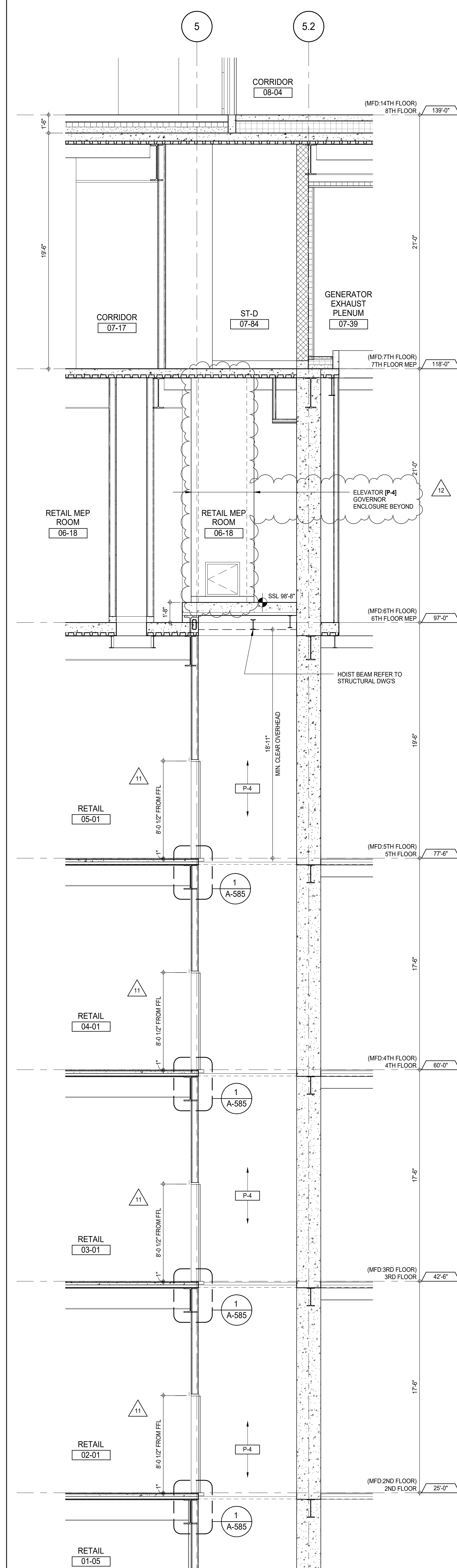
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CONSULTANT: **AAI ARCHITECTS, P.C.**

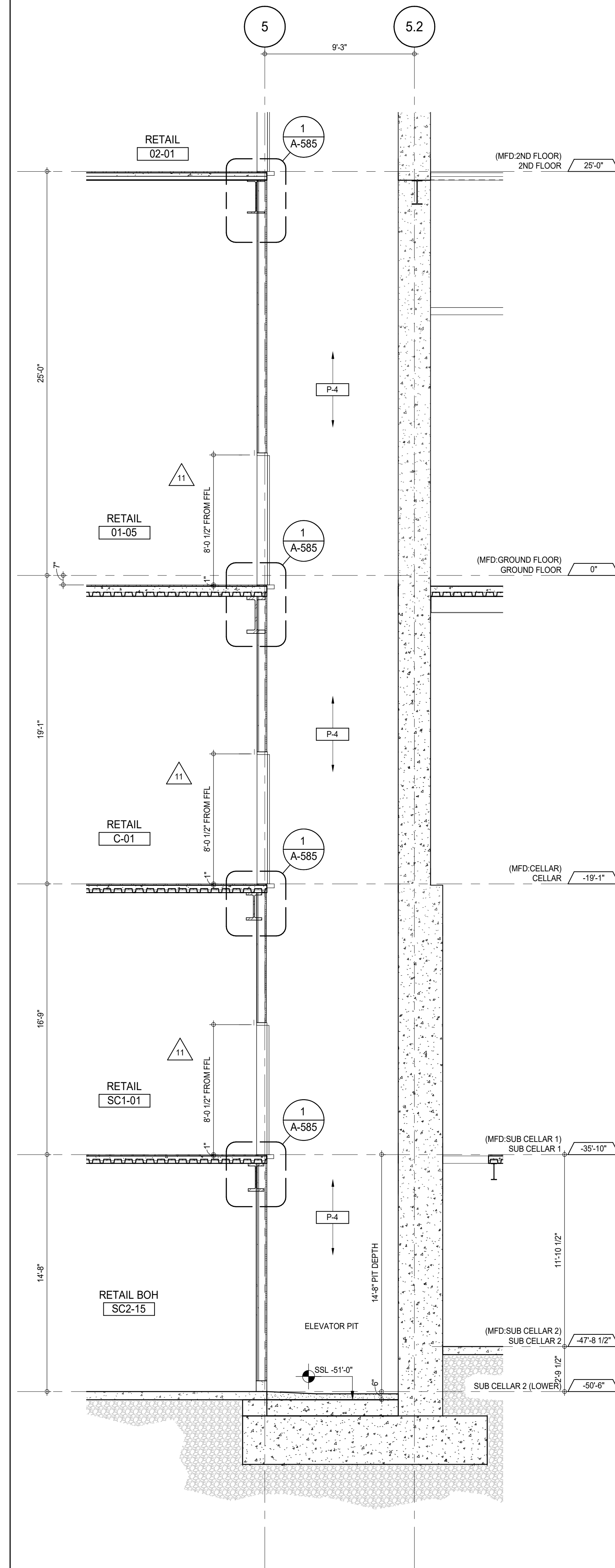
PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **PODIUM ELEVATORS N-1 & S-1 ENLARGED SECTIONS**

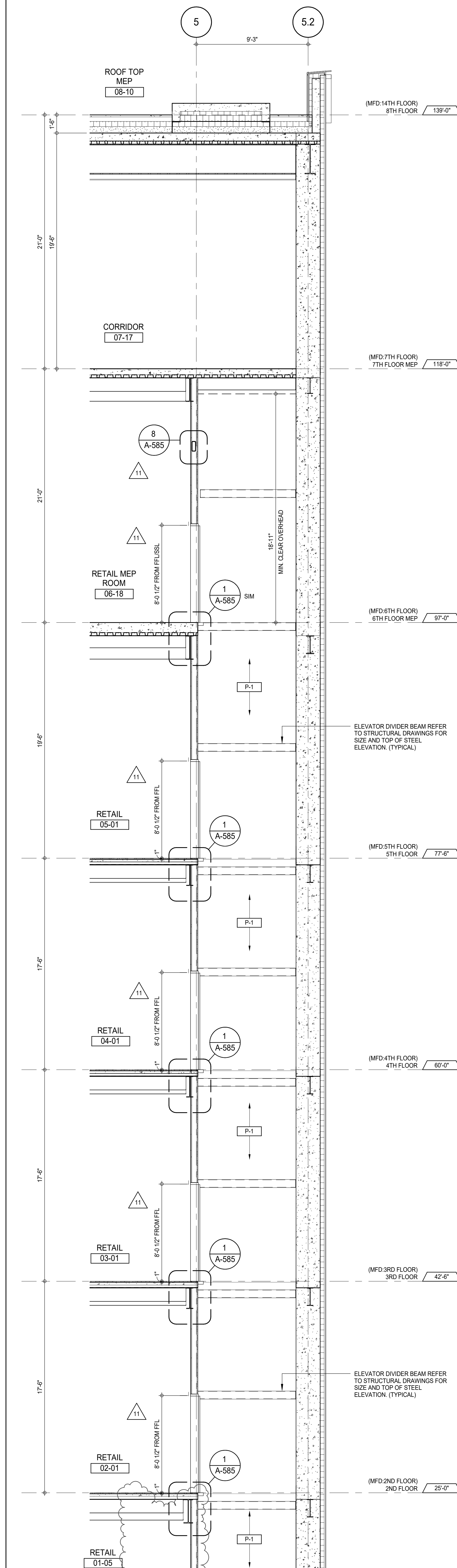
SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-381.02**
DOB PAGE No: 25 of 33
DOB 5-SCAN:



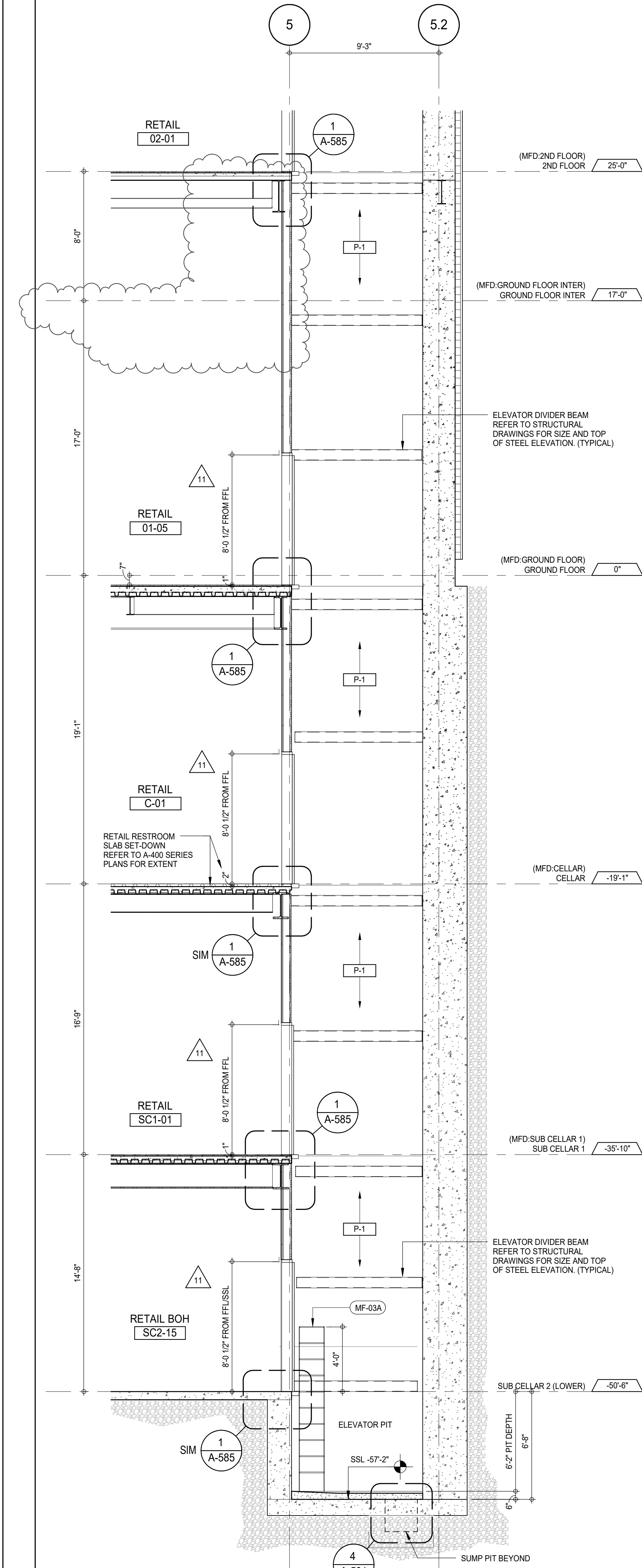
ELEVATOR P-4 SECTION - 2ND TO 5TH FLOORS (P-3 SIM



ELEVATOR P-4 SECTION - PIT TO GROUND FLOOR (P-3 SIM)

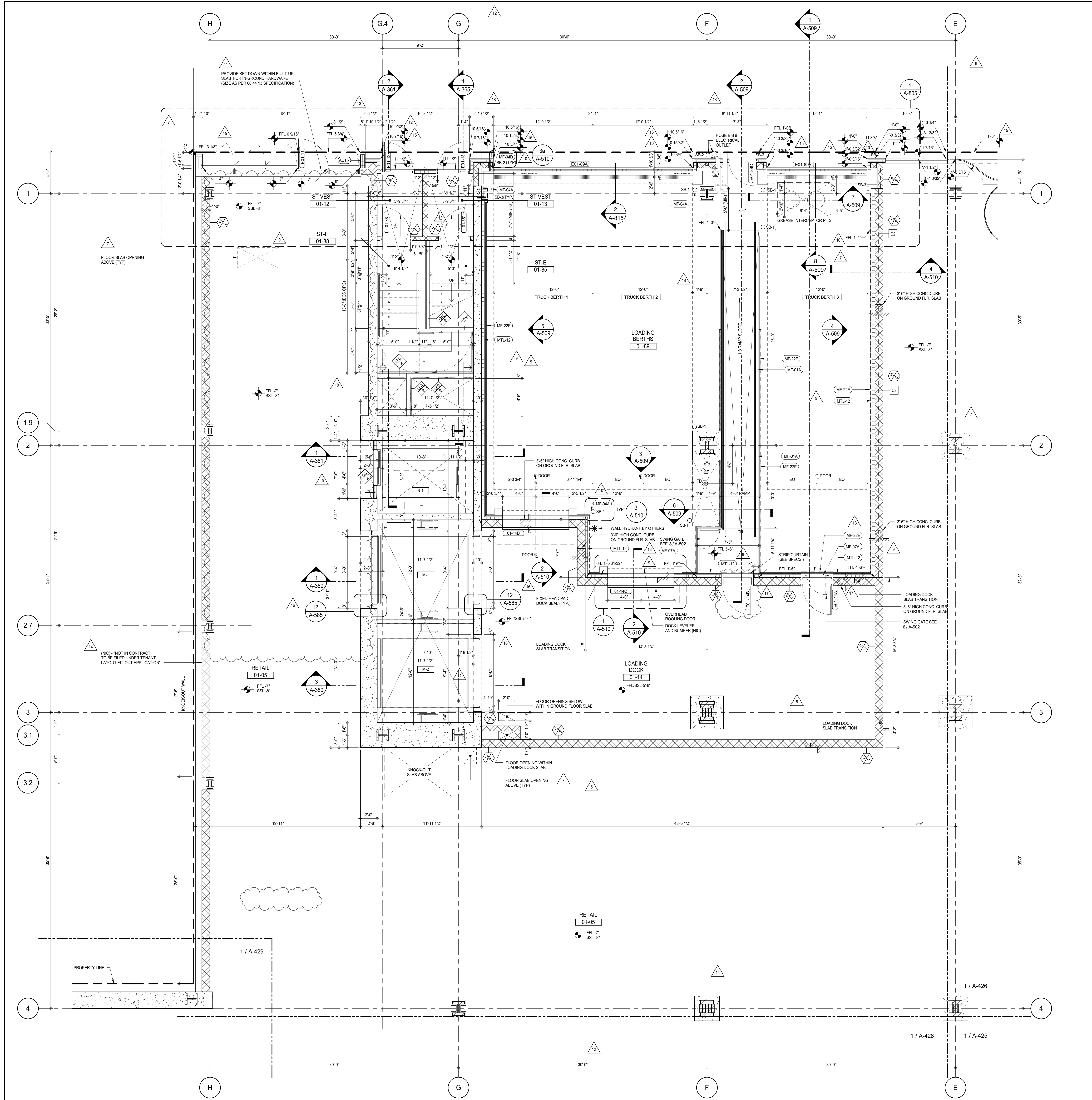


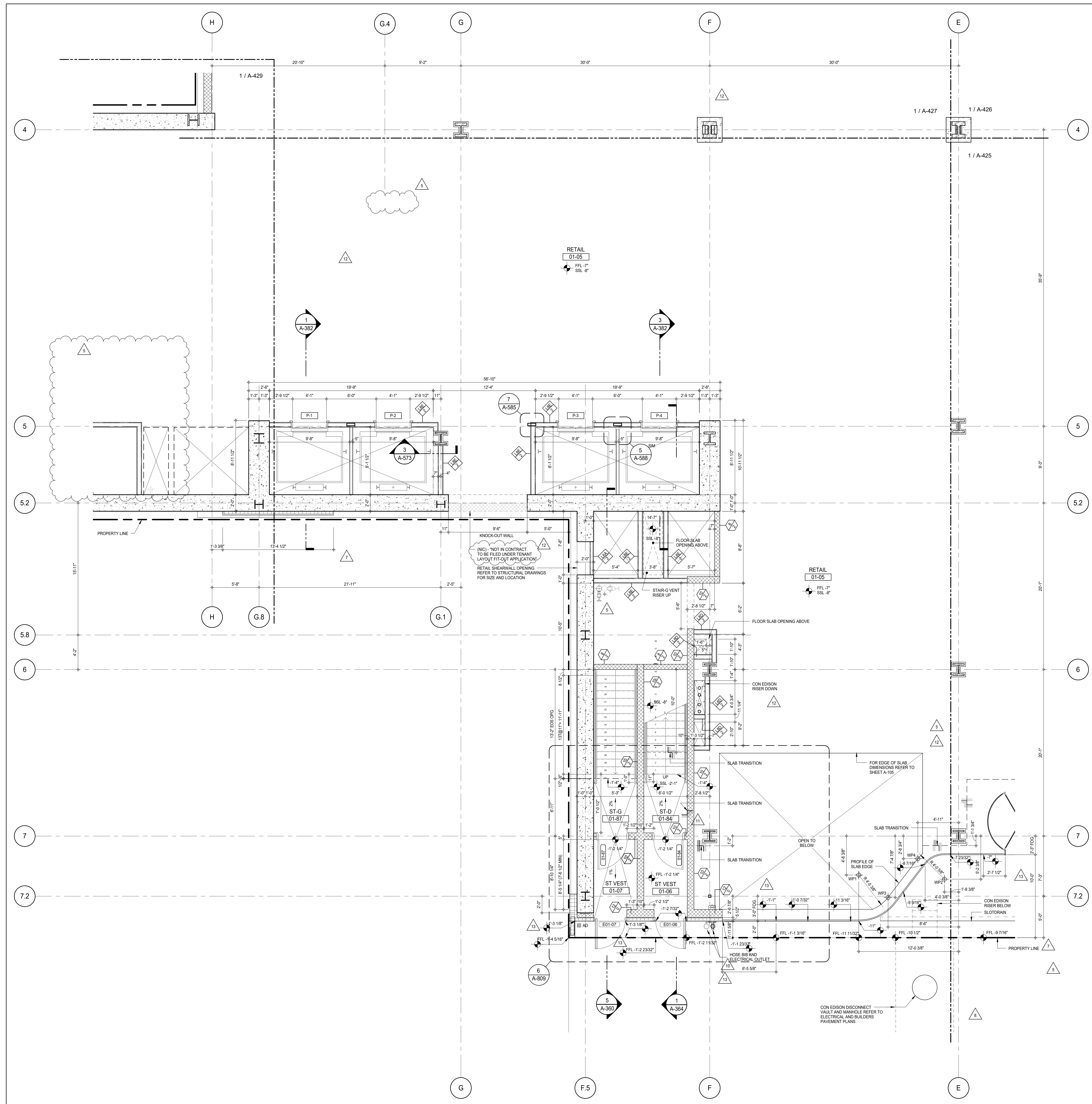
ELEVATOR P-1 SECTION - 2ND TO 6TH FLOORS (P-2 SIM



ELEVATOR P-1 SECTION - PIT TO GROUND FLOOR (P-2 SIM

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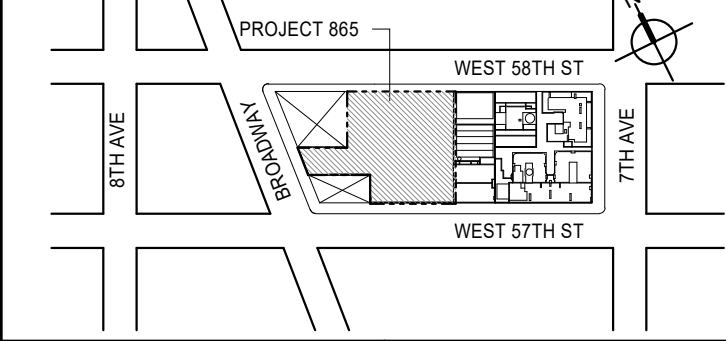




SHEET NOTES:

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- C2 DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- C3 DASHED LINE DENOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
- P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
- EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
- TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALL'S REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
- ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEY PLAN:



PROJECT NORTH:



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
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CURTAINWALL CONSULTANT:

AJLP Consulting
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New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD PROGRESS ISSUE 9	31 MAR 16
13	CD PROGRESS ISSUE 10	15 JUL 16
14	CD PROGRESS ISSUE 11	26 AUG 16
15	CD PROGRESS ISSUE 12	14 OCT 16
16	D.O.B. AMENDMENT 4	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT:



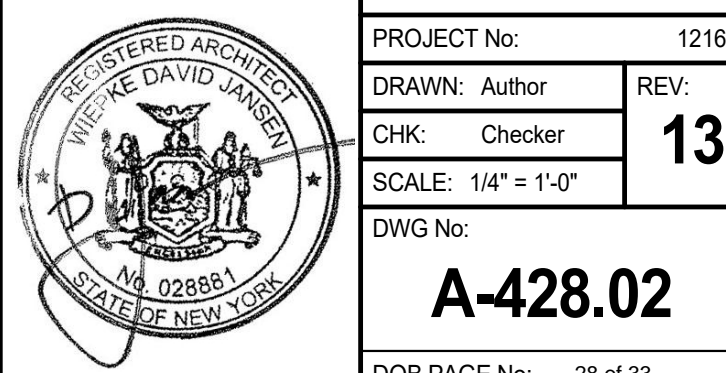
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

GROUND FLOOR PART PLAN
(SOUTH-WEST) (MFD-GROUND FLOOR)

SEAL & SIGNATURE:



DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

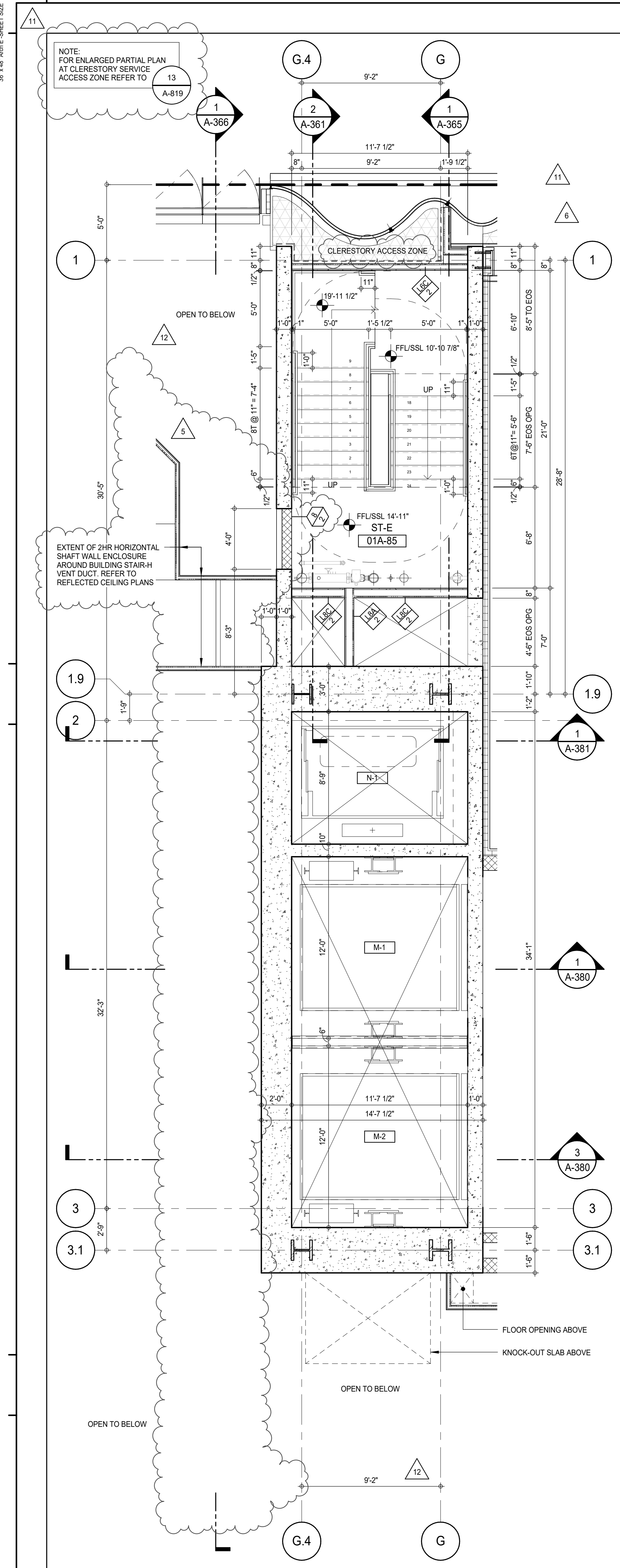
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DWG No: A-428.02

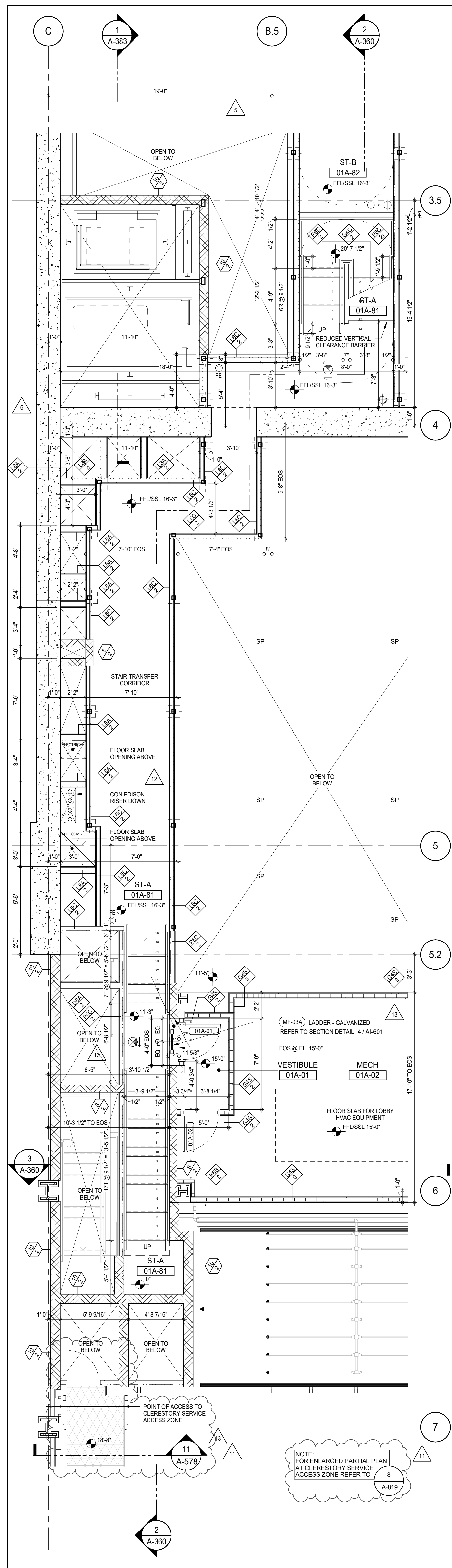
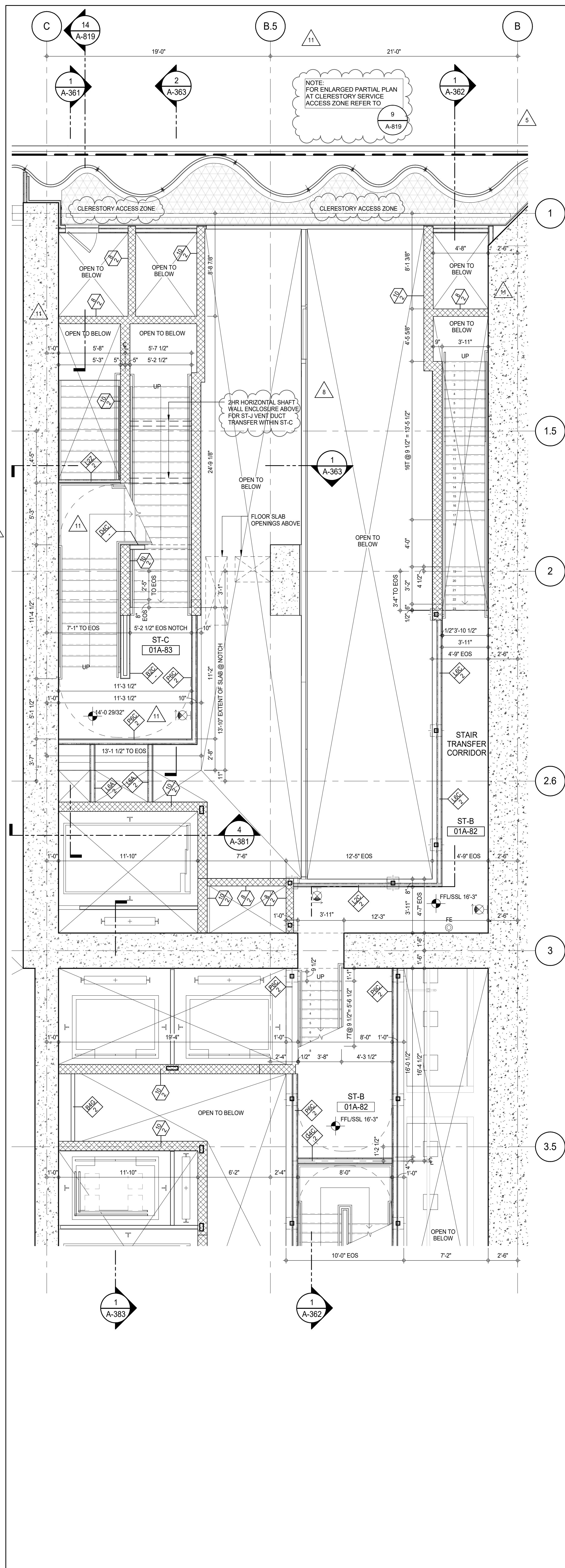
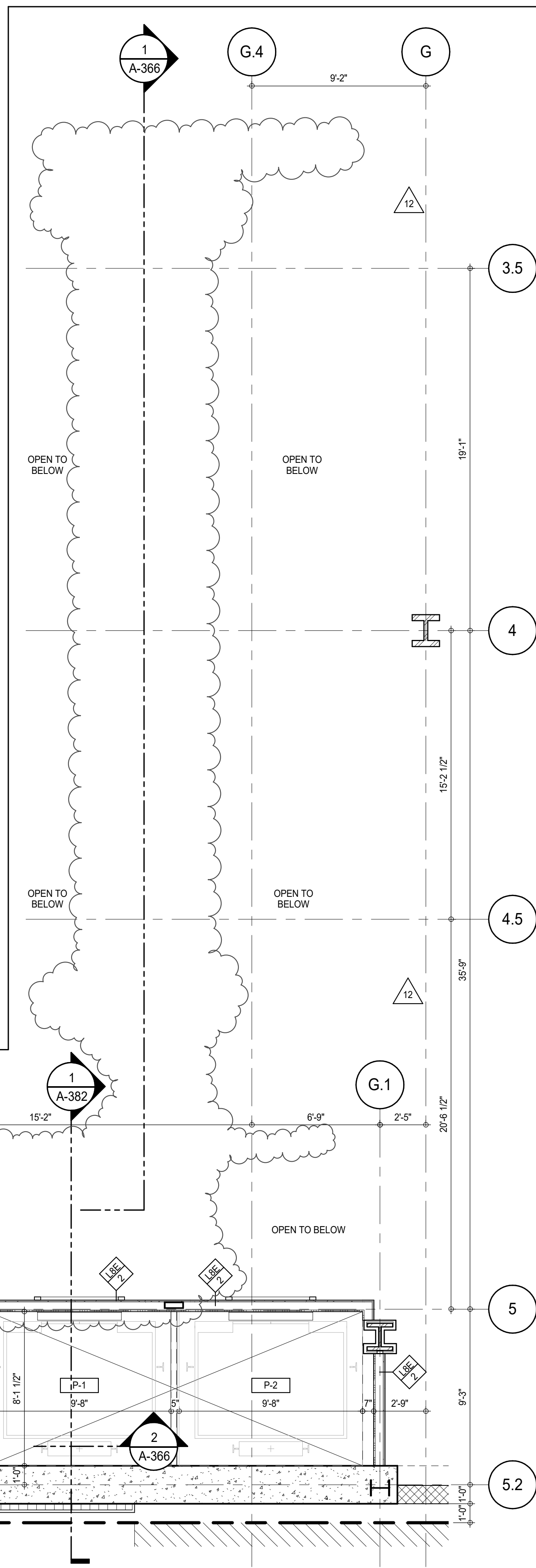
DOB PAGE No: 28 of 33

DOB EMPLOYEE STAMP:

DOB S-SCAN:



KEYNOTE LEGEND:
TAG # DESCRIPTION
(MF-03A) LADDER - GALVANIZED



KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave., 7th Floor
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TEL: 646 989 7000 FAX:

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401 Wellington St. W., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **WSP CANTOR SEINUK**
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New York, NY 10017 USA
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MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
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21 Penn Plaza - 360 West 21st Street, 9th Floor
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CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
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CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 4	15 JUL 16
14	CD BULLETIN ISSUE - 6	26 AUG 16
15	CD BULLETIN ISSUE - 20	21 APR 17
16	D.O.B. AMENDMENT 4	12 DEC 17

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR PLAN INTERMEDIATE
(STAIR TRANSFER) (MFD-GENERAL
FLOOR INTERMEDIATE)**

SEAL & SIGNATURE: **DAVID L. AAI**

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

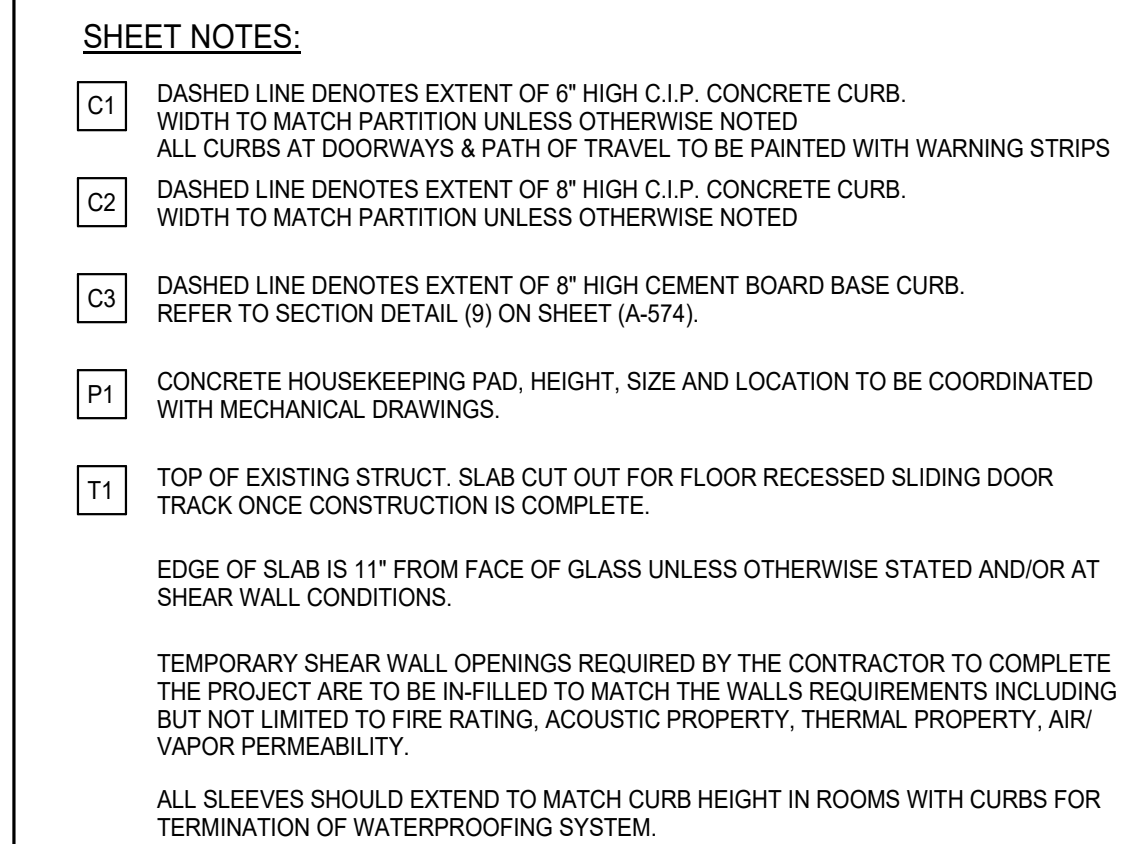
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DWG No: **A-430.03**

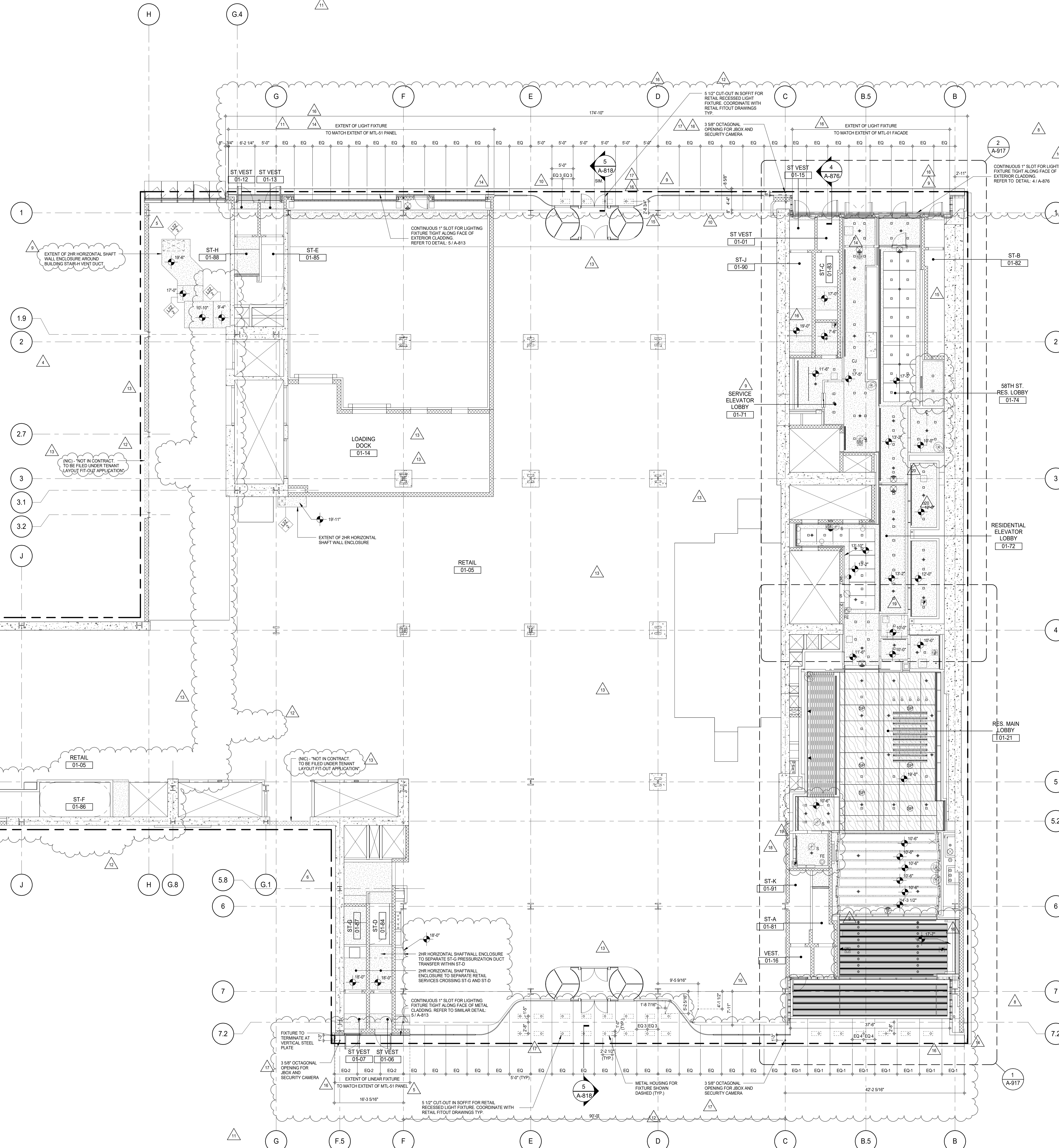
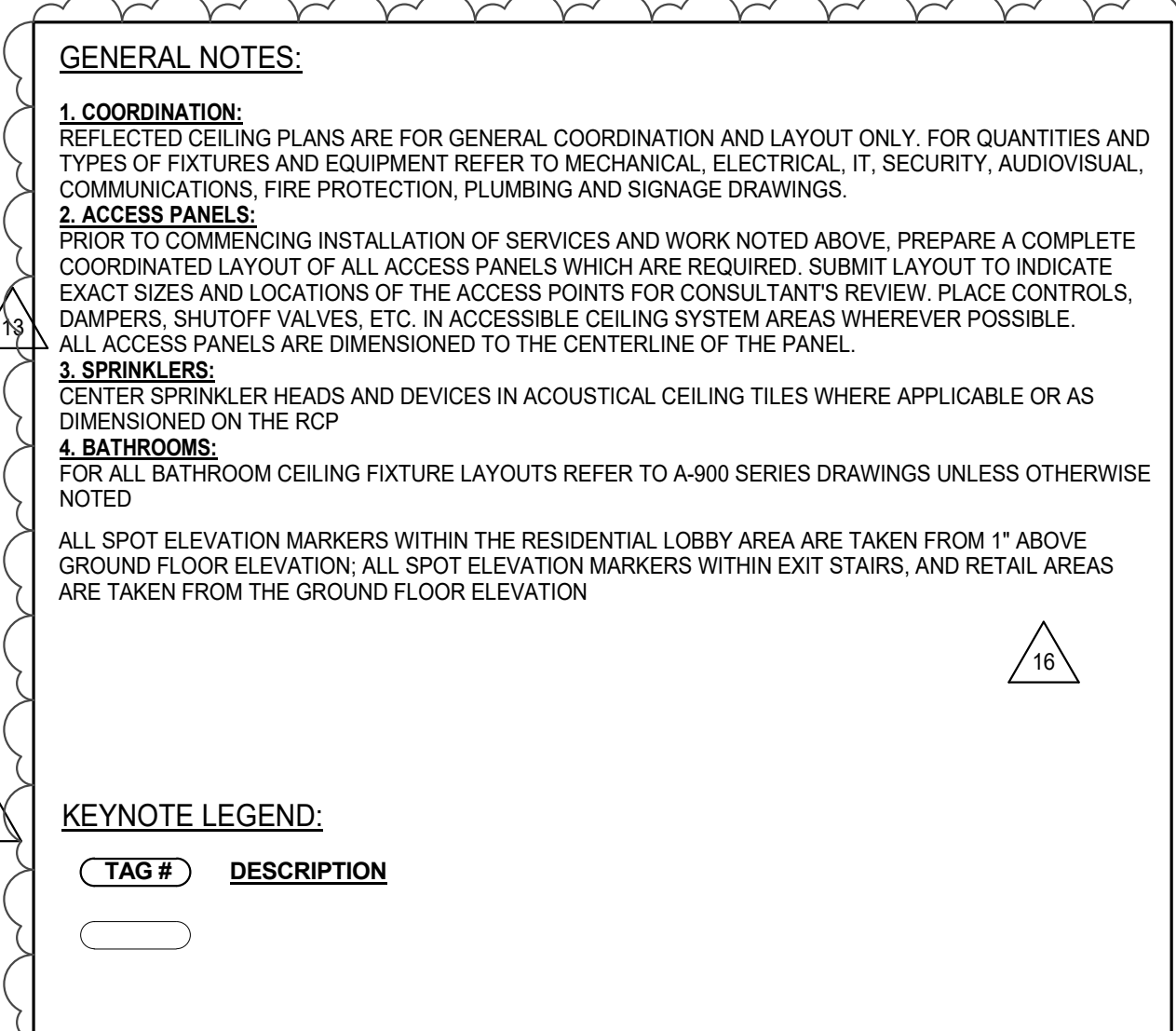
DOB PAGE No: 36 of 35



DOB EMPLOYEE STAMP: **DAVID L. AAI**

DOB S-SCAN:



<h1>D.O.B. SUBMISSION</h1>	
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p>	
<p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>	
<p>CONSULTANT:</p> <div style="text-align: center;"> <p>AAI ARCHITECTS, P.C.</p> </div>	
<p>PROJECT:</p> <div style="text-align: center;"> <p>217 WEST 57TH STREET</p> <hr/> <p>NEW YORK, NY</p> </div>	
<p>DRAWING TITLE:</p> <div style="text-align: center;"> <p>2ND FLOOR PART PLAN (WEST) (MFD-2ND FLOOR)</p> </div>	
<p>SEAL & SIGNATURE:</p> <div style="text-align: center;"> </div>	<p>DATE: 15 OCT 14</p> <p>PROJECT NO: 1216-C0</p> <p>DRAWN: Checker</p> <p>REV: 12</p> <p>SCALE: 1/4" = 1'-0"</p> <p>DWG NO: A-435.02</p>
<p>DOB EMPLOYEE STAMP:</p>	<p>DOB PAGE NO: 31 of 33</p> <p>DOB 8-SCAN:</p>



KEY PLAN:		
		
PROJECT NORTH		
		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL 312 502 1888 FAX: 312 502 1775		
INTERIOR DESIGNER: Residential Rotter Architecture and Design Studio, PLLC 298 Fifth Ave., 7th Floor New York, NY 10001 TEL 646 989 7000 FAX: 646 989 7000		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AJI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1P7 Canada TEL 416 967 1500 FAX: 416 967 1150		
STRUCTURAL ENGINEERS: WSP CANOTER SENIUK 228 EAST 45th Street New York, NY 10017 USA TEL 212 867 9988 FAX: 646 687 5501		
MEP ENGINEERS: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10006 USA TEL 212 354 5656 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 6th Floor New York, NY 10001-2727 TEL 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL 212 365 1816 FAX: 212 365 1911		
CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 826 New York, NY 10013 TEL 212 757 5659 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Jan Hard Pokorny Associates, Inc. 30 West 37th Street, 3A New York, NY 10018 TEL 212 759 6462 FAX: 212 759 6450		
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4	CD PROGRESS ISSUE 5	10 AUG 15
5	CD PROGRESS ISSUE 2	21 SEP 15
6	CD PROGRESS ISSUE 6	02 NOV 15
7	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
7	CD PROGRESS ISSUE 7	29 JAN 16
8	CD ISSUE 8 - GMP SET	31 MAR 16
9	CD BULLETIN ISSUE - 1	22 APR 16
10	CD BULLETIN ISSUE - 2	21 MAY 16
11	AS1 ISSUE - 1	18 MAY 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	AS1 ISSUE - 11	16 DEC 16
15	AS1 ISSUE - 13	23 DEC 16
16	AS1 ISSUE - 16	27 JAN 17
17	CD BULLETIN ISSUE - 9	03 FEB 17
18	AS1 ISSUE - 19	24 MAR 17
19	AS1 ISSUE - 20	21 APR 17
20	AS1 ISSUE - 21	05 JUN 17
	D.O.B. AMENDMENT 4	12 DEC 17

D.O.B. SUBMISSION

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CONSULTANT



PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

GROUND FLOOR REFLECTED CEILING
PLAN (LOBBY) (MFD-GROUND FLOOR,

SEAL & SIGNATURE: 	DATE:	19 DEC 14
	PROJECT No:	1216-00
DRAWN: Author		DATE:



DATE:	19 DEC 14
PROJECT No:	1216-00
DDMMN: Author	DDA

DRAWN: Author	REV.
CHK: Checker	20
SCALE: 1/8" = 1'-0"	

DWG No:

A-705.02

DOB PAGE No: 32 of 33	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

REFLECTED CEILING PLAN SYMBOL LEGEND

SYMBOL	DESCRIPTION
	CEILING MOUNTED
	WALL MOUNTED
	SLEEVED OPENING
	SLAB OPENING
	SLAB OPENING ABOVE (UNLESS NOTED OTHERWISE)
	ACCESS PANEL (HINGED / UNHINGED)
	LIGHT FIXTURE (SQUARE / RECTANGULAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (LINEAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (SQUARE / RECTANGULAR / CIRCULAR) - RECESSED (REFER TO ELECTRICAL DRAWINGS)
	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
	UNIT ENTRY LIGHT FIXTURE / DOOR BELL (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE - TRACK (REFER TO ELECTRICAL DRAWINGS)
	RETURN AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	SUPPLY AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	LINEAR AIR DIFFUSER (SINGLE / DOUBLE) (WHERE X IS: R=RETURN AIR, S=SUPPLY AIR, SRA=SUPPLY RETURN COMBO) (REFER TO MECHANICAL DRAWINGS)
	SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
	DETECTORS WITH JUNCTION BOX RECESSED IN DROP CEILING (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS)
	DETECTORS WITH JUNCTION BOX AND CONDUIT RECESSED IN SLAB (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS)
	VOICE ALARM SPEAKER (REFER TO FIRE ALARM DRAWINGS)
	VOICE ALARM SPEAKER & STROBE LIGHT (REFER TO FIRE ALARM DRAWINGS)
	EXIT LIGHT (REFER TO ELECTRICAL DRAWINGS)
	ELECTRICAL RECEPTACLE OUTLET (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX RECESSED IN SLAB
	CEILING MOUNTED JUNCTION BOX WITH IN SLAB CONDUIT AND STUB OUTS
	TELECOM - REFER TO TELECOM DRAWINGS
	SPECIAL PURPOSE CONNECTION
	SPEAKER OUTLET
	ALARM
	SECURITY CAMERA (REFER TO SECURITY DRAWINGS)
	WINDOW WASHING TRACK (REFER TO 1/4" PLANS)

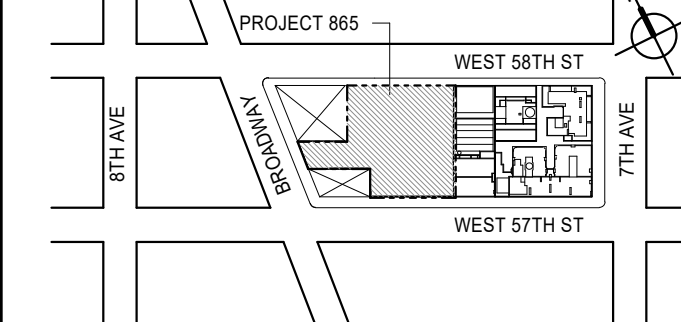
EXTENT OF 2HR HORIZONTAL SHAFT WALL ENCLOSURE AROUND BUILDING STAIR-HAVENT DUCT

EXTENT OF 2HR FIRE-RATED ENCLOSURE REFER TO CORRESPONDING FIRE PROTECTION DRAWINGS

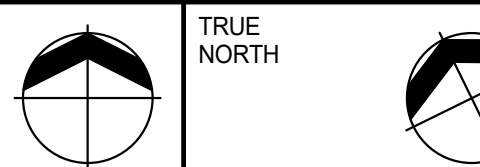
GENERAL NOTES:

- COORDINATION:** REFLECTED CEILING PLANS ARE FOR GENERAL COORDINATION AND LAYOUT ONLY. FOR QUANTITIES AND TYPES OF FIXTURES AND EQUIPMENT REFER TO MECHANICAL, ELECTRICAL, IT, SECURITY, AUDIOVISUAL, COMMUNICATIONS, FIRE PROTECTION, PLUMBING AND SIGNAGE DRAWINGS.
- ACCESS PANELS:** PRIOR TO COMMENCING INSTALLATION OF SERVICES AND WORK NOTED ABOVE, PREPARE A COMPLETE COORDINATED LAYOUT OF ALL ACCESS PANELS WHICH ARE REQUIRED. SUBMIT LAYOUT TO INDICATE EXACT SIZES AND LOCATIONS OF THE ACCESS POINTS FOR CONSULTANTS REVIEW. PLACE CONTROLS, DAMPERS, SHUTOFF VALVES, ETC. IN ACCESSIBLE CEILING SYSTEM AREAS WHEREVER POSSIBLE. ALL ACCESS PANELS ARE DIMENSIONED TO THE CENTERLINE OF THE PANEL.
- SPRINKLERS:** CENTER SPRINKLER HEADS AND DEVICES IN ACOUSTICAL CEILING TILES WHERE APPLICABLE OR AS DIMENSIONED ON THE RCP.
- BATHROOMS:** FOR ALL BATHROOM CEILING FIXTURE LAYOUTS REFER TO A-900 SERIES DRAWINGS UNLESS OTHERWISE NOTED.

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
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ARCHITECT OF RECORD:

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	D.O.B. AMENDMENT 2	21 SEP 15
4	CD PROGRESS ISSUE 6	02 NOV 15
5	CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
6	CD PROGRESS ISSUE 7	29 JAN 16
7	CD ISSUE 8 - GMP SET	31 MAR 16
8	CD BULLETIN ISSUE - 1	22 APR 16
9	CD BULLETIN ISSUE - 4	15 JUL 16
10	CD BULLETIN ISSUE - 6	28 AUG 16
11	ASI ISSUE - 11	16 DEC 16
	D.O.B. AMENDMENT 4	12 DEC 17

/ISSUED AS A-306- CD PROGRESS ISSUE 5 - 09 MAR 15/

D.O.B. SUBMISSION

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CONSULTANT:



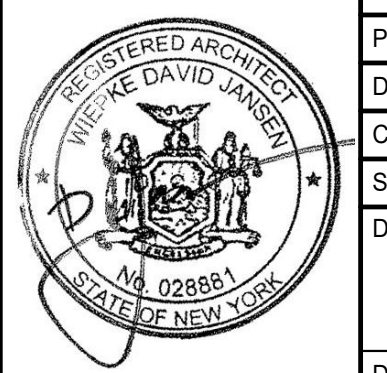
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

**GROUND FLOOR INTERMEDIATE
REFLECTED CEILING PLAN (STAIR
TRANSFER) (MFD-GROUND FLOOR
INTERMEDIATE)**

SEAL & SIGNATURE:



DATE: 19 DEC 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-706.02

DOB PAGE No: 33 of 33

DOB EMPLOYEE STAMP:

DOB S-SCAN:

Markup Summary

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[illegible]

[illegible]

[illegible]

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